

TOWNSHIP OF BLANDFORD-BLENHEIM

COUNCIL MEETING AGENDA

Wednesday March 15, 2017
Township Council Chambers
47 Wilmot Street South, Drumbo
4:00 p.m.

1. **Welcome**
2. **Call to Order**
3. **Approval of the Agenda**
4. **Disclosure of Pecuniary Interest**
5. **Consideration of Minutes**
 - a. [March 1, 2017 Regular meeting of Council](#)
 - b. [February 9, 2017 Cemetery Advisory Committee meeting](#)
6. **Business Arising from the Minutes**
7. **Delegations/Presentations**
 - a. Shahab Shafai & Mark Maxwell, County of Oxford
Drumbo Wastewater Treatment Plant Class EA / Princeton servicing
 - b. Craig VanWees
Wastewater servicing for Princeton
8. **Correspondence**
 - a. **General**

None.
 - b. **Specific**

None.

9. Staff Reports

a. **John Scherer, CBO/Manager of Building Services**

i. [CBO-17-03 – Year End Report](#)

Recommendation:

That Report CBO-17-03 be received as information.

b. **Gary Crandall, Director of Public Works**

i. [PW-17-06 – Surface Treatment tender results](#)

Recommendation:

That Report PW-17-06 be received as information; and,

That Council accept the joint Oxford County surface treatment tender submitted by NorJohn Contracting, Niagara Falls, ON for surface treatment with stress absorbing material (FibreMat) at a total contract cost of \$959,923.58 including HST; and,

That Council approve the Township of Blandford-Blenheim's share of the contract in the amount of \$200,572.62 including HST.

c. **Jim Harmer, Drainage Superintendent**

i. [DS-17-04 – Appointment of Drainage Engineer](#)

Recommendation:

That Report DS-17-04 be received as information; and,

Whereas the Grand River Conservation Authority have registered no comments to Council's intention to appoint an Engineer under Section 4 of the Drainage Act for the Hamilton Drain as per Director of Public Works Gary Crandall's Petition;

Be it resolved that Council appoints Tom Pridham P.Eng. of R.J. Burnside & Associates Limited, 15 Townline, Orangeville, Ont. L9W 3R4 to prepare a drainage report as per the petition under Section 4 of the Drainage Act for improvements to the Hamilton Drain.

ii. [DS-17-05 – Consideration of Report for Kamview Drain](#)

Recommendation:

That report DS 17-05 be received as information; and,

That council gives consideration to By-Law No. 2009-2017 for the Kamview Drain for first and second reading (provisional by-laws); and,

That the Court of Revision be set for Wednesday April 15, 2017 at 4:00 p.m.

d. **Denise Krug, Director of Finance/Treasurer**

- i. [TR-17-04 – Statement issued with respect to 2016 salaries, benefits and expenses](#)

Recommendation:

That report TR-17-04 be received as information.

e. **Rodger Mordue, CAO/Clerk**

- i. [CAO-17-10 – Development Charges](#)

Recommendation

That Report CAO-17-10 be received as information.

10. **Reports from Council Members**

11. **Unfinished Business**

12. **Motions and Notices of Motion**

13. **New Business**

14. **Closed Session**

- a. A proposed or pending acquisition or disposition of land by the municipality or local board

15. **By-laws**

- a. [2009-2017](#)

Being a by-law to provide for drainage works. (Kamview Drain). 1st and 2nd reading only.

- b. [2010-2017](#)

Being a by-law to adopt the estimates of all sums required for 2017 for Township purposes.

c. [2011-2017](#)

Being a By-law to confirm the proceedings of Council.

16. **Other**

17. **Adjournment and Next Meeting**

Wednesday, April 5, 2017 at 4:00 p.m. in Council Chambers.

Township of Blandford-Blenheim
Regular Council Meeting
Wednesday, March 1, 2017, 4:00 p.m.

MINUTES

Council met at 4:00 p.m.

Present: Mayor Wearn, Councillors Balzer, Banbury, Cowan and Peterson

Staff: Crandall, Harmer, Krug, Mordue, Richardson and Wood

Mayor Wearn in the Chair

1. **Welcome**

2. **Call to Order**

3. **Approval of the Agenda**

RESOLUTION #1

Moved By – Councillor Peterson
Seconded by – Councillor Balzer

Be it hereby resolved that the agenda for the March 1, 2017 Regular Meeting of Council be approved as printed and circulated.

.Carried

4. **Disclosure of Pecuniary Interest**

None declared.

5. **Adoption of Minutes**

RESOLUTION #2

Moved By – Councillor Peterson
Seconded by – Councillor Balzer

Be it hereby resolved that the minutes of the February 15, 2017 Regular Meeting of Council be adopted as printed and circulated.

.Carried

RESOLUTION #3

Be it hereby resolved that the minutes of the November 21, 2016 Police Service Board be received.

.Carried

6. Business Arising from the Minutes

None

7. Delegations/Presentations

- a. Don Michalak, Dianne McLaren, Marilyn Murray – Drumbo & District Heritage Society - Canada 150 Celebration

RESOLUTION # 4

Moved By – Councillor Peterson
Seconded by – Councillor Balzer

That the presentation from the Drumbo & District Heritage Society be received.

.Carried

- b. Denise Krug, Director of Finance/Treasurer & Rodger Mordue, CAO/Clerk – Presentation of revisions to the draft 2017 budget.

RESOLUTION # 5

Moved By – Councillor Peterson
Seconded by – Councillor Balzer

That the presentation of the 2017 draft budget be received.

.Carried

RESOLUTION #6

Moved By – Councillor Peterson
Seconded By – Councillor Balzer

That Council authorize the following allocations for 2017 under the Township’s Grant and Subsidy program:

Drumbo & District Heritage Society	\$1,000
Princeton & District Museum	\$1,000
Plattsville & District Heritage Society	\$1,000
Drumbo Lions Club	\$1,000
Drumbo Agricultural Society	\$1,000
Wounded Warriors	\$1,000

.Carried

RESOLUTION #7

Moved By – Councillor Peterson
Seconded By – Councillor Balzer

That Council authorize the following allocations for 2017 for Canada 150 projects/events:

DDHS	\$2,971
PDHS	\$2,500
Drumbo Ag	\$3,500
Princeton 150	\$4,029

.Carried

8. **Correspondence**

a. **General**

Mayor Robert Wilhelm, Township of Perth South

RESOLUTION #8

Moved By – Councillor Balzer
Seconded By – Councillor Peterson

That the correspondence from the Township of Perth South regarding the Upper Thames River Conservation Authority budget be received.

.Carried

b. **Specific**

Operation Lifesaver

RESOLUTION #9

Moved By – Councillor Balzer
Seconded By – Councillor Peterson

That Whereas it is in the public's interest to raise citizen's awareness on reducing avoidable accidents, injuries and damage caused by collisions at level crossings or incidents involving trains and citizens; and,

Whereas Operation Lifesaver is a public/private partnership whose aim is to work with the rail industry, governments, police services, the media and other agencies and the public to raise rail safety awareness; and,

Whereas Operation Lifesaver has requested that Council support their ongoing effort to promote rail safety in our community,

Be it hereby resolved that Council support the Public – Rail Safety Week, April 24 to April 30, 2017 through the Township's website

.Carried

9. Staff Reports

a. **Rick Richardson, Director of Protective Services / Fire Chief**

- i. FC-17-02 – Monthly report

RESOLUTION #10

Moved By – Councillor Balzer
Seconded By – Councillor Peterson

That report FC-17-02 be received as information;

.Carried

b. **Jim Harmer, Drainage Superintendent**

- i. DS-17-03 – Monthly report

RESOLUTION #11

Moved By – Councillor Balzer
Seconded By – Councillor Peterson

That Report DS-17-02 be received as information

.Carried

c. **Gary Crandall, Director of Public Works**

- i. PW-17-04 – Monthly Report

RESOLUTION #12

Moved By – Councillor Banbury
Seconded By – Councillor Cowan

That Report PW-17-04 be received as information.

.Carried

- ii. PW-17-05 – 2017 Gravel Tender Results

RESOLUTION #13

Moved By – Councillor Banbury

Seconded By – Councillor Cowan

That Report PW-17-05 be received as information; and,

That Council accept the tender submitted by Oxford Sand & Gravel Ltd. Of Woodstock, ON for the supply, crushing and placement of approximately 22,500 Tonnes of granular “M” at a unit price of \$8.74/tonne for a total of \$222,214.50.

.Carried

d. **Ken Wood, Manager of Community Services**

i. CS-17-01 – Monthly Report

RESOLUTION #14

Moved By – Councillor Banbury

Seconded By – Councillor Cowan

That Report CS-17-01 be received as information.

.Carried

e. **Denise Krug, Director of Finance/Treasurer**

i. TR-17-03 – Ontario Regulation 284/09

RESOLUTION #15

Moved By – Councillor Banbury

Seconded By – Councillor Cowan

That report TR-17-03, with respect to Ontario Regulation 284/09 for the budget year 2017 be received and adopted.

.Carried

f. **Rodger Mordue, CAO/Clerk**

i. CAO-17-08 – Vote Counting Tabulators

RESOLUTION #16

Moved By – Councillor Banbury

Seconded By – Councillor Cowan

That Report CAO-17-08 be received as information; and,

That Council authorize the use of vote tabulation equipment for the 2018 municipal election.

.Carried

ii. CAO-17-09 – 2017 Town Hall Schedule

RESOLUTION #17

Moved By – Councillor Banbury
Seconded By – Councillor Cowan

That report CAO-17-09 be received; and,

That the following dates be set for Town Hall meetings in 2017:

April 4, 2017 at 7:00 pm at the Lions Hall, Plattsville

.Carried

iii. CBO-17-02 – Monthly report

RESOLUTION #18

Moved By – Councillor Cowan
Seconded By – Councillor Banbury

That Report CBO-17-02 be received as information.

.Carried

RESOLUTION #19

Moved By – Councillor Cowan
Seconded By – Councillor Banbury

That Council waive the Drumbo Pavilion rental fee for July 1, 2017 and the Princeton Park rental fee for the Civic Holiday weekend for Canada 150 celebrations.

.Carried

10. Reports from Council Members

None

11. Unfinished Business

None

12. Motions and Notices of Motion

None

13. New Business

None

14. Closed Session

None

15. By-laws

RESOLUTION # 20

Moved By – Councillor Cowan

Seconded By – Councillor Banbury

Be it hereby resolved that a first and second reading be given to the following By-laws:

- By-law 2006-2017 Being a by-law to authorize the use of optical scanning equipment vote tabulators at elections.
- By-law 2007-2017 Being a by-law to enter into an agreement with the Township of East Zorra-Tavistock for Building Department Services.
- By-law 2008-2017 Being a By-law to confirm the proceedings of Council.

.Carried

RESOLUTION # 21

Moved By – Councillor Cowan

Seconded By – Councillor Banbury

Be it hereby resolved that a third and final reading be given to the following By-laws:

- By-law 2006-2017 Being a by-law to authorize the use of optical scanning equipment vote tabulators at elections.
- By-law 2007-2017 Being a by-law to enter into an agreement with the Township of East Zorra-Tavistock for Building Department Services.
- By-law 2008-2017 Being a By-law to confirm the proceedings of Council.

.Carried

16. Other

None

17. Adjournment and Next Meeting

RESOLUTION #22

Moved By – Councillor Cowan

Seconded by – Councillor Banbury

Whereas business before Council has been completed at 5:51 p.m.;

Be it hereby resolved that Council does now adjourn to meet again on Wednesday, March 15, 2017 at 4:00 p.m. in Council Chambers.

.Carried

Marion Wearn, Mayor
Township of Blandford-Blenheim

Rodger Mordue, CAO/Clerk
Township of Blandford-Blenheim

Township of Blandford-Blenheim
Cemetery Advisory Committee Minutes

Minutes of the meeting of the Cemetery Advisory Committee held Thursday, February 9, 2017 at 7:00 p.m. at the Township Administration Office.

Present: Mayor Wearn, Councillor Cowan, Barbara Blake, Bill Goodwin, Dan McLaren, John Sippel,

Regrets: Phil Harmer

Staff: Rodger Mordue, CAO/Clerk
Ken Wood, Manager of Community Services

The meeting was called to order at 7:00 p.m.

Selection of Chair:

Moved by Bill Goodwin, seconded by Dan McLaren: "That John Sippel be nominated as Chair of the Committee"

John Sippel accepted the nomination.

No other nominations were made and the nominations were closed.

John Sippel was selected as the Chair of the Committee.

New Business:

Maintenance issues

Discussion was held regarding a number of maintenance issues identified in the cemeteries that were not completed in 2016. Mr. Wood explained that there are items in each cemetery and that it will take time to address all of them. Staff will continue to work away at them over the 2016 season.

Capital Items

There was discussion on the following items which the Committee recommends to Council for inclusion in future capital planning:

- Flag poles for Drumbo and Princeton
- Columbarium for Drumbo

Decoration Day

Discussion was held on Decoration Day services. Bill Goodwin indicated that he will not be organizing the service in Princeton this year and is uncertain if it will occur.

Barbara Blake and John Sippel were unsure if there was going to be one in Drumbo.

Next Meeting:

Next meeting will be as needed at the call of the Clerk.

Adjournment

Moved by Dan McLaren, seconded by Barbara Blake: "That the meeting does now adjourn at 7:40 p.m." Carried.



TOWNSHIP OF BLANDFORD-BLENHEIM

Agenda Item

To:	Members of Council	From:	John Scherer, CBO/ Manager of Building Services
Reviewed By:	Rodger Mordue, CAO/Clerk	Date:	February 23, 2017
Subject:	Year End Report to Council	Council Meeting Date:	March 1, 2017
Report #:	CBO-17-03		

Recommendation:

That Report CBO – 17- 03 be received as information.

Background:

To provide Council with an update, regarding the Year End Report on Building activities for the period ending December 31, 2016.

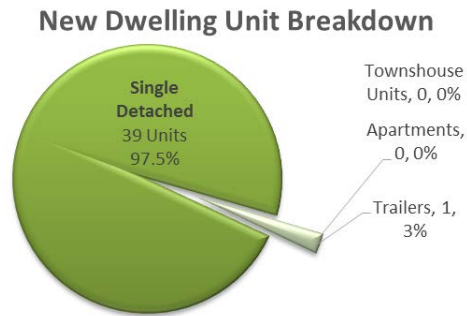
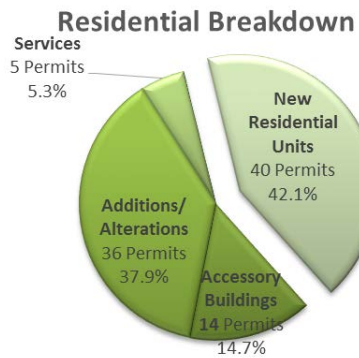
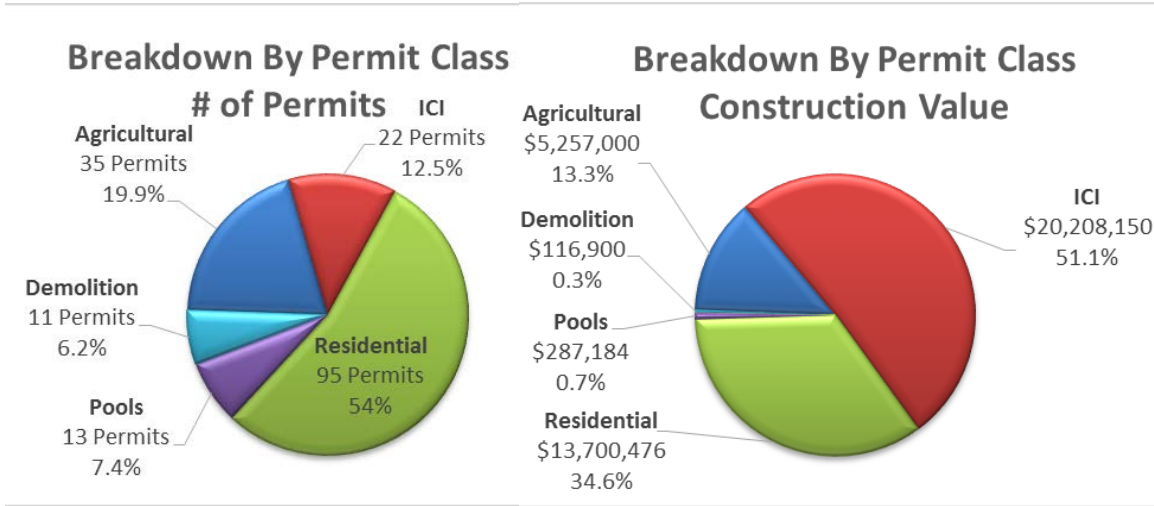
This report is a requirement of the Ontario Building Code Act section 7.(4) and must be completed yearly.

Information:

Section 7(4) of the Ontario Building Code Act requires that an annual report be prepared and presented to Council on building permit fees collected and the cost to run the department.

The total fees collected for building permit issued in **2016** was **\$277,516.53**. The total number of permits issued was 176, with an estimated construction value of **\$39,569,713.00**.

Council should be aware that the Union Gas Project accounted for **50.1% (\$19,833,800)** of total construction value and **12.3% (\$34,152.94)** of total fees collected.



Revenue	
Building Permits	\$271,163.53
Site Alteration Application Fees	\$725.00
Sewer and Water Permits	\$2,670.00
Property Standards Infractions	\$678.00
Building & Zoning Statements	\$2,280.00
TOTAL REVENUE	\$277,516.53
Expenses	
Wages and Benefits	\$149,288.87
Supplies/Advertising/MISC	\$2,827.63
Professional Development	\$6,557.82
County Planning Fees	\$1,017.89
Capital	\$5,000.00
Professional Insurance	\$15,096.24
Vehicle	\$2,767.95
Mileage	\$704.66
Communications	\$573.82
Legal and Engineering	\$2,398.65
TOTAL EXPENSES	\$186,233.53
Net Revenue	\$91,283.00
Revenue as % of Expenditure	149.02%

As outlined in this report, the Township has recovered approximately **149 %** of the expenses to operate the building department in 2016. As required by Section 7.(2) of the Ontario Building Code, the building department's fees have exceeded the anticipated reasonable cost of administration and enforcement of the Ontario Building Code Act.

Recommendations:

1. That Council accept the Building Department Annual Report for 2016, as required to be prepared under Section 7(4) of the Ontario Building Code, as information.
2. That Council direct staff to transfer the net revenue of the Building Department into a reserve fund.

Respectfully submitted by:



John Scherer
Manager Building Services/CBO



TOWNSHIP OF BLANDFORD-BLENHEIM

Agenda Item

To:	Members of Council	From:	Gary Crandall Director of Public Works
Reviewed By:	Rodger Mordue	Date:	March 8, 2017
Subject:	2017 Surface Treatment Tender Results	Council Meeting Date:	March 15, 2017
Report #:	PW-17-06		

Recommendation:

That Report PW-17-06 be received for information;

And further that Council accept the joint Oxford County Surface Treatment tender submitted by NorJohn Contracting, Niagara Falls, ON surface treatment with stress absorbing material (FibreMat) at a total joint contract cost of \$959,923.58 including HST;

And further that acceptance is based on a total of \$200,572.62 including HST for Blandford-Blenheim's portion;

Background:

The Township surface treatment resurfacing requirements with FibreMat were included in the County of Oxford joint surface treatment tender for the County, Blandford-Blenheim and Norwich Townships.

Two contractors pre-qualified and both took documents out, with only one bid returned from Norjohn Contracting, Niagara Falls, ON for the Surface Treatment work.

Analysis/Discussion:

Surface treatment came in at a unit price of \$4.54/m². This represents a 4.36% increase from 2016, but under the estimated budget unit price.

The totals are based on an Asphalt Cement (AC) price of \$725.00/tonne. If AC prices are lower at the time the work is completed, then the total will be lower, and vice versa if it is higher.

The County is recommending acceptance of the overall contract and I recommend to accept our portion of the contract.

Financial Considerations:

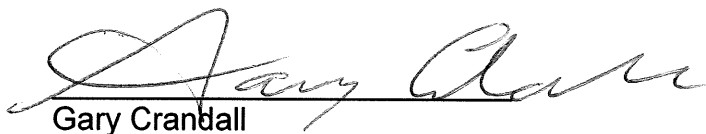
Budget is \$180,500.00 from Road Construction Reserve

Total net cost of tender is \$180,621.86 or just \$121.86 over current budget

Attachments:

Oxford County Summary of Tender Prices Submitted

Respectfully submitted by:



Gary Crandall
Director of Public Works

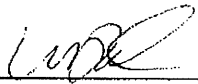


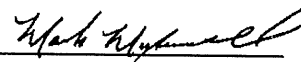
SUMMARY OF TENDER PRICES SUBMITTED
 THE RESULTS PROVIDED BELOW ARE UNOFFICIAL AND SUBJECT TO REVIEW OF THE TENDER SUBMISSIONS
 THE ABSENCE OF ANY OF THE ITEMS BELOW WILL BE CAUSE FOR REJECTION OF SUBMISSION

Project No. and Description: Surface Treatment (2017)
Closing: 02-Mar-17
Date Summary Issued: 16/Feb/17
Cost: \$20.00

BIDDERS LIST					TENDER OPENING						
CONTRACTOR (Company, Courier Address including postal code, Phone, Fax, Email)	Date	Method of Payment	Method Sent	Addendum	AGREEMENT TO BOND	CERTIFIED CHEQUE, LETTER OF CREDIT OR BID BOND	PRIVILEGE CLAUSE SIGNED	FORM OF TENDER COMPLETED AND SIGNED	DOCUMENTS PURCHASED FROM COUNTY	ADDENDUM OR ADDENDA	AMOUNT including HST
Norjohn Contracting 9101 Brown Road, Niagara Falls, ON L2E 6S5 P: 905-371-0809 Ext. 229 F: n/a devans@walkerind.com	22-Feb-17	Visa	Purolator, AF	22-Feb-17	✓	✓	✓	✓	✓	✓	\$ 959,923.58
Seeley and Arnill Construction 255 South Street East, PO Box 20, Durham, ON N0G 1R0 P: 519-369-3547 F: 519-369-3756 Joanne Kendrick <jkendrick@seeleyandarnill.com>	22-Feb-17	Mastercard	Purolator, AF	22-Feb-17							

Present at Opening:

Dadean Assam 

Mark Maxwell 



TOWNSHIP OF BLANDFORD-BLENHEIM

Agenda Item

To:	Members of Council	From:	Jim Harmer Drainage Superintendent
Reviewed By:	Rodger Mordue	Date:	March 8, 2017
Subject:	Petition for Drainage Appointment of Engineer	Council Meeting Date:	March 15, 2017
Report #:	DS-17-04		

Recommendation:

That Report DS-17-04 be received as information;

Whereas the Grand River Conservation Authority have registered no comments to council's intention to appoint a Engineer under Section 4 of the Drainage Act for the Hamilton Drain as per Director of Public Works Gary Crandall's Petition

Be it resolved that Council appoints Tom Pridham P.Eng. of R.J. Burnside & Associates Limited, 15 Townline, Orangeville, Ont. L9W 3R4 to prepare a drainage report as per the petition under Section 4 of the Drainage Act for improvements to the Hamilton Drain

Background:

Have received a signed petition for drainage in the area of Blandford Road and Oxford County Road 8 at Lot 8 Con 10 for improvement of the existing private drain (formerly A MTO drain) by Director of Public Works, Gary Crandall

The GRCA have been notified of council intention to proceed with the petition accepted at the February 1, 2017 council meeting.

Also Council has not received any request for cost benefit statements or environmental appraisal as per Section 6 and 7 of the Drainage Act

At the Council meeting on February 1, 2017 staff was instructed to notify GRCA of it's intent to appoint a Engineer under Section 4 of the Drainage Act for the Hamilton Drain.

Analysis/Discussion

Therefore in accordance with Section 8 of the Drainage Act Council may appoint an Engineer to prepare a report in accordance with Section 4 of the Act

Financial Considerations:

Cost of report will assessment to effected ratepayer in the area of the Hamilton Drain

Attachments:

None

Respectfully submitted by:

Jim Harmer Drainage Superintendent



TOWNSHIP OF BLANDFORD-BLENHEIM

Agenda Item

To:	Members of Council	From:	Jim Harmer Drainage Superintendent
Reviewed By:	Rodger Mordue	Date:	February 24 2017
Subject:	Consideration of Report Section 4 Kamview Drain	Council Meeting Date:	March 15, 2017
Report #:	DS-17-5		

Recommendation:

That report DS 17-05 be received as information;

And further that council gives consideration to By-Law No. 2009-2017 for the Kamview Drain for first and second reading (provisional by-laws);

And further that the Court of Revision be set for Wednesday April 15, 2017 at 4:00 p.m.

Lastly It is also recommend that the Engineer be directed to invite tenders for the Kamview Drain with tender closing April 12, 2017 at noon

Background:

On July16, 2016 Kenn Smart, P.ENG. was appointed Engineer, to file a reports on the Kamview Drain under Section 4 and 8 of the Drainage Act which provide is to provide a legal/sufficient outlet for the existing private drainage tile system on the Kamview Poultry Ltd property in Concession1 Lot 1 in the Township. Of Blandford Blenheim

Analysis/Discussion:

The report has been mailed to the assessed owners and effected agencies in accordance with Section 41 of the Drainage Act. The report will be considered on March 15, 2017 at 4:00 p.m. in accordance with Section 42 of the Drainage Act. All owner and agencies have been invited and the Engineer will be in attendance to present the reports and answer any questions.

Provide no major concern are expressed, the By-Law's (copy's attached) can be provisionally adopted and Court of Revision date set

Financial Considerations:

Cost of report is assess to effected ratepayer as per the Schedule of Assessment in the drain report

Attachments:

Draft By-Law's attached to agenda

Copy of Reports attached to agenda

Respectfully submitted by:

Jim Harmer
Drainage Superintendent

ENGINEERING REPORT

KAMVIEW DRAIN

TOWNSHIP OF BLANDFORD-BLENHEIM

County of Oxford

February 13, 2017

File No. 16-235



K. SMART ASSOCIATES LIMITED
Kitchener Sudbury

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K. SMART ASSOCIATES LIMITED

CONSULTING ENGINEERS AND PLANNERS

85 McIntyre Drive
Kitchener ON N2R 1H6

Tel: (519) 748-1199
Fax: (519) 748-6100
E-Mail: ksmart@ksmart.ca

February 13, 2017

File No. 16-235

KAMVIEW DRAIN

TOWNSHIP OF BLANDFORD-BLENHEIM

To Mayor and Council
Township of Blandford-Blenheim

1.0 SUMMARY

This is a drainage report that is prepared pursuant to Section 4 of the Drainage Act, RSO 1990. The primary purpose of this report is to provide a legal/sufficient outlet for the existing private drainage tile system on the Kamview Poultry Ltd. property (Roll No. 020-00300) in Concession 1, Lot 1 in the Township of Blandford Blenheim.

This objective will be achieved by:

- Incorporating an existing watercourse (with improvements as listed below) as a drain under the Drainage Act (commonly referred to as a municipal drain) easterly from Oxford Road 22 for a length of 182m to an outlet into a wetland area on the G. & S. Clark (010-34700) parcel.
- Improvement is required to the existing watercourse for 100m east of Oxford Road 22 on the I. Bull (010-29200) and H. & A. Van Rooyen (010-29000) parcels.
- Establishing a corridor along the drain to provide access for the Township of Blandford-Blenheim to conduct future maintenance work as required.

The work undertaken with the preparation of this report has followed the normal procedures of the Drainage Act which have involved an on-site meeting, review of the site, survey and design work, and the preparation of a report to include plan and profile drawings, cost estimates, specifications, and miscellaneous paragraphs regarding the project description, etc.

The proposed new drain will be known as the Kamview Drain. A summary of the proposed drain is:

- 200m of existing road crossing and watercourse to be incorporated including one existing 600x600mm concrete catchbasin, 18m of existing 250mm dia. crossing pipe, and 182m of existing channel
- 100m of existing channel improvement
- The total estimated cost of the work is \$22,590
- The total drainage area affected is 48.6 hectares (120 acres)

Schedule A shows the assessment of the total estimated cost to the affected lands. Schedule B will be used for prorating future maintenance cost, when incurred, on the Kamview Drain. These schedules are on pages 16 and 17. Appendix A illustrates the calculation of the assessments outlined in Schedule A and Appendix B illustrates the calculation of the assessments outlined in Schedule B. Appendix A and B are on pages 18 and 19.

Appendix C (separate attachment) has data that summarizes all estimated gross and net assessments. It is of assistance when preparing the final/actual cost bylaw and grant form.

It shows the estimated net costs to all parties if all grants are received and if the allowances are deducted from the assessments.

2.0 BACKGROUND

On May 12, 2016 the Township of Blandford-Blenheim received a *Petition for Drainage Works by Owners* under Section 4(1) of the *Drainage Act*, R.S.O. 1990, c. D.17. The Petition was submitted by Robert Haverkamp (having signing authority for Kamview Poultry Ltd.) to secure a drainage outlet for his property west of Oxford Road 22 and north of Highway 2 in the Geographic Township of Blandford. On July 7, 2016 the Township of Blandford-Blenheim appointed K. Smart Associates Limited to prepare a drainage report on the petition received.

Although the Kamview Poultry Ltd. (Roll No. 020-00300) parcel is systematically tiled, portions of this parcel remain wet for extended periods of time. This is due to the poor condition of the ditch outlet which accepts the drained waters from the road crossing.

The objective of this report is to provide a legal/sufficient and improved drainage outlet for the Kamview Poultry Ltd. parcel.

3.0 DRAINAGE HISTORY

There is no record of any drainage works previously constructed under the Drainage Act within the watershed of the proposed Kamview Drain. However, the Anderson Drain exists to the northwest of the proposed Kamview Drain watershed and has a common watershed in part.

4.0 INITIAL INVESTIGATION

4.1 ON-SITE MEETING

Engineers & Authorities:

Kenn Smart, P. Eng. (K. Smart Associates) Jim Harmer (Twp. of Blandford-Blenheim)
Ray Roscovich (K. Smart Associates)

Properties Represented:

Bernice Vink (020-00400, 020-00401) Gord Clark (010-34700)
Ivan Bull (010-29200) Rob Haverkamp (020-00300, 020-02700)

The required on-site meeting for the Kamview Poultry Ltd. petition was held on September 20, 2016 at 10:00am on Oxford Road 22. The attendees are listed above.

The Engineers started the meeting by explaining why they had all gathered. It was explained that this on-site meeting was a required step in the Drainage Act process, and that the petition brought forward would be evaluated for sufficiency. The meeting was also explained to be for information gathering purposes, and the Engineers would like to hear about any other drainage issues in the watershed.

All of those in attendance were then asked to introduce themselves and identify which property they represent in the watershed.

The petitioner, Rob Haverkamp, was asked to state why he has brought the petition forward and the type of work he would like to see done to improve his drainage issues. Mr. Haverkamp explained that his tiled farm on the west side of Oxford Road 22 is slow to drain due to years of sediment build up in the outlet ditch on the east side of the road. His tiles are connected to a 600x600mm catchbasin on the west side of the road, and this basin outlets to a 200mm± dia. pipe that crosses to the east side of the road. The infrastructure is not part of a municipal drain, and the ditch runs, more or less, along the property line between Mr. Bull's and Mr. Clark's land.

Mr. Haverkamp originally contacted the County of Oxford to request that the ditch be cleaned, but he was unsuccessful. Mr. Haverkamp then contacted the Municipal Drainage Superintendent to inquire about a solution to his drainage issue. The superintendent informed the petitioner that the ditch would need to be incorporated as a municipal drain for the desired cleanout work to occur. The Superintendent also advised Mr. Haverkamp that he should not attempt to perform unauthorized work on the ditch, as this could lead to considerable fines. The ditch flows into an area designated as wetland by the Grand River Conservation Authority (GRCA).

Mr. Haverkamp indicated that he would like the ditch incorporated as a municipal drain, so the required cleanout work could take place soon and regularly in the future. The engineer recommended that the catchbasin and road crossing pipe should also be incorporated to ensure their continued function through maintenance, and the petitioner agreed with this recommendation.

Mr. Bull was the next attendee to speak. He owns a large residential property on the east side of Oxford Road 22, and the ditch requiring cleanout runs along his north property line. Mr. Bull stated that he didn't have any drainage concerns of his own, and he was supportive of the work that the petitioner had proposed.

Mr. Clark then spoke about his land to the north of the Bull property. A small portion of Mr. Clark's land is farmed, however the majority of this property is wetland. He indicated that the farmed portion of his land does occasionally get quite wet, but he understood that this was the nature of owning a wetland property. Mr. Clark spoke about the regular beaver activity that occurs on his property and in the wetland. Mr. Clark did not have any concerns with the work requested by the petitioner.

Mrs. Vink owns the agricultural property off of Township Road 2 to the west of the petitioner land. She stated that she has no issues relating to drainage with this property. Mrs. Vink is also the owner of the severed lot on the northeastern portion of her main property. She indicated that there are no drainage issues with this property either.

At the conclusion of the meeting, the engineer thanked everyone for coming and advised that the petition was in order for the area requiring drainage. The engineer informed Mr. Haverkamp that he would be the beneficiary of any drainage works, and he would therefore be responsible for the majority of the report and construction costs. Mr. Haverkamp understood these remarks, and he was still interested in proceeding toward a solution to his drainage problem.

The engineer then conducted a site examination, and the landowners were encouraged to attend. He also indicated that there would be an informal second meeting once the survey, design and report were nearing completion, and the cost estimates were better known.

4.2 SITE EXAMINATION

Most of the landowners accompanied the engineer for the site examination at the conclusion of the on-site meeting. The 600 x 600mm catchbasin on the west side of the County road was noted to be in fair condition, and the 900mm dia. HDPE culvert crossing the road was in good condition. It was apparent that the culvert would take normal runoff waters to the east side of the road before storm waters would enter the top of the catchbasin.

On the east side of the road, the 200mm dia. catchbasin outlet pipe was located in the ditch. This pipe outlet did appear to be in a depressional area that was lower than the channel bottom, as the petitioner indicated. This channel is approx. 8ft in depth with steep (approx. 1:1) bank slopes near the road. Except for the sediment build up, the channel had a sufficient grade that could be observed by eye.

The landowners informed the engineer that there is an abandoned gas well on the Van Rooyan property. The gas company formerly accessed this well by way of an access road at the northern limit of the Bull and Van Rooyan properties. A 250mm± dia. CSP culvert crosses this access road with outlet to the channel north of the culvert approx. 50m± downstream of the County road. This culvert was in fair condition.

The engineer examined approximately 100m of the channel downstream (east) of the County road. The channel becomes progressively shallower and wider (flatter slopes) as it meanders through the wooded area to the east of the road. At this point, the flow path becomes difficult to distinguish by eye.

The engineer concluded the site examination stating that a surveying crew would return to fully survey the County road area and approx. 200m of the channel/flow path to the east of the road.

5.0 AUTHORITY FOR REPORT

As a result of discussions at the on-site meeting and the site examination, the area requiring drainage for the Haverkamp petition was determined to be the Kamview Poultry Ltd. parcel. The signature on the petition represents all of the land within the area requiring drainage thus the Haverkamp petition is valid under Section 4(1)(a) or 4(1)(b) of the Drainage Act.

6.0 WATERSHED

Land use in the Kamview Drain watershed is approximately 80% agricultural. Woodlots on the Kamview Poultry Ltd., B.E. Vink, and B.P. Vink parcels constitute the remaining 20%. The perimeter watershed for the Kamview Drain was established by site examination and evaluation of topographic/contour information. The adjacent Municipal Drain report for the Anderson Drain, was also reviewed for conformity.

7.0 ITEMS CONSIDERED IN DESIGN STAGE

The following are various matters that were considered in arriving at the recommendations in this report:

7.1 Environmental Considerations

The Kamview Drain is located in an agricultural community. The primary environmental concern to be addressed would be to ensure minimal erosion or sedimentation impacts to the downstream wetland.

Sediment resulting from drain construction will be controlled by the installation of a temporary straw bale dam/sediment trap. Post construction erosion of the drain will be minimized by seeding any bank areas that are disturbed by the excavation. Minimal bank excavation will occur due to the minimal flows, the minimal size of channel and the minimal need for channel reconstruction.

Beaver activity (dams, fallen trees, etc.) has been reported in the watercourse on the Clark property further downstream of the stretch to be incorporated. This activity is expected to continue, however, it is not expected to have a significant impact on the function of the drain. In the event that the downstream beaver activity (dams, fallen trees, etc.) on the Clark property does have a negative impact on the drainage works, such blockages on the Clark property shall be removed through the drain maintenance program.

A copy of this report including specifications will be submitted to the Grand River Conservation Authority for review and comment pursuant to Section 28 of the Conservation Authorities Act. Contact will be made as necessary with the Township and the Ministry of Natural Resources and Forestry re Species at Risk within the watershed. An electronic copy of this report will be submitted to the Department of Fisheries and Oceans (DFO) for their review.

7.2 Outlet Considerations (Sufficiency of Outlet)

Sufficient outlet under the Drainage Act is defined as the point at which water can be discharged safely so that it will do no damage to lands or roads. Based on the site examination and survey, the regulated wetland area on the G. & S. Clark property downstream of Sta. 0+118 does provide sufficient outlet for the watercourse to be incorporated.

7.3 Soils Considerations

The Oxford County soils map for this area indicates that the soils in the watershed are Bookton sandy loam and Fox loamy sand. The northern portion of the watershed is a combination of Bookton sandy loam and Fox loamy sand. Both of these soils have good drainage characteristics and are stone free. The southern portion of the watershed is primarily Bookton sandy loam. The proposed ditch improvement work will occur in the Bookton sandy loam. These soils should not present construction difficulty.

7.4 Utilities

The known utilities on the Kamview Drain are a buried gas line on the west side of Oxford Road 22 and an overhead hydro line on the east side. No work is proposed for the west side of the road in the vicinity of the gas line. However, work on the east side of the road should proceed with caution around the hydro lines.

The Contractor is to contact all landowners along the proposed drain route to determine the existence of any underground or overhead utilities on private properties and is to have Ontario One Call do locates for all underground utilities.

8.0 SECOND SITE MEETING

Engineers & Authorities:

Kenn Smart, P. Eng. (K. Smart Associates)
Ray Roscovich (K. Smart Associates)

Jim Harmer (Twp. of Blandford-Blenheim)

Properties Represented:

Bernice Vink (020-00400, 020-00401)
Ivan Bull (010-29200)
Scott Boughner (Oxford County)

Gord Clark (010-34700)
Rob Haverkamp (020-00300, 020-02700)

A second meeting for the proposed Kamview Drain was held on January 31, 2017 at 10:00am at the Township office in Drumbo, Ontario. The attendees are listed above.

The Engineer started the meeting by thanking everyone for coming. He explained that the meeting was not a requirement of the Drainage Act. The meeting was another information gathering/sharing opportunity and a courtesy to the ratepayers. The purpose of this meeting was to present the landowners with the details of the construction and incorporation work that would be proposed in the Municipal Drain Report. An estimate of the landowner's assessments (gross and net) would also be presented, and their comments on the Report contents were welcome.

After presenting the contents of the Draft Report, the only comment received was in regard to the beaver activity in the downstream wetland. There is ongoing beaver activity on Mr. Clark's property, and he felt that a beaver dam built in the vicinity of the downstream limit of the proposed drain (Sta. 0+200±) could compromise the drainage work. The Engineer stated that direction could be given, in the Report, on how to deal with beaver activity that negatively impacted the drain. The engineer indicated that he would discuss this matter with the GRCA before including these directions in the Report.

Hearing no further comments, the Engineer concluded the meeting. He told those in attendance that the Report would be submitted to council in approximately one week, and they would receive a notice of the Report consideration prior to the Council meeting (likely March 1, 2017).

9.0 RECOMMENDED WORK

As a result of the survey, the design, and discussions at the meetings, the following is the recommended work for the Kamview Drain:

Oxford Road 22 (Oxford County)

Station 0+000 to 0+018

- Existing 600x600mm concrete catchbasin on west side of road and 250mm dia. catchbasin outlet pipe across the road to the east to be incorporated.
- New birdcage grate and marker to be installed on existing catchbasin.
- New 250mm rodent gate to be install on outlet pipe.

I. Bull (Roll No. 010-29200)

Station 0+018 to 0+057

- 39m of existing watercourse to be incorporated.
- Both north and south banks as well as the ditch bottom require brushing and clearing prior to ditch cleanout.
- Ditch cleanout to design grade (see profile drawing) with 1.2m bottom width and 1.5:1 side slopes.
- 5m wide right of way south of south ditch bank is established for access for future maintenance.
-

H. & A. Van Rooyen (Roll No. 010-29000)

Station 0+057 to 0+075

- 18m of existing watercourse to be incorporated.
- Both north and south banks as well as the ditch bottom require brushing and clearing prior to ditch cleanout.
- Ditch cleanout to design grade (see profile drawing) with 1.2m bottom width and 1.5:1 side slopes.
- 5m wide right of way south of south ditch bank is established for access for future maintenance.

G. & S. Clark (Roll No. 010-34700)

Station 0+075 to 0+118

- 43m of existing watercourse to be incorporated.
- Both north and south banks as well as the ditch bottom require brushing and clearing prior to ditch cleanout.
- Ditch cleanout to design grade (see profile drawing) with 1.2m bottom width and 1.5:1 side slopes.
- 5m wide right of way south of south ditch bank is established for access for future maintenance.

Station 0+118 to 0+200

- 82m of existing watercourse to be incorporated.
- No work required except for the construction of one straw bale check dam.
- 5m wide right of way south of south ditch bank is established for access for future maintenance.
- The wetland area is the outlet for the existing watercourse and is sufficient outlet for the upstream watercourse to be incorporated.

Station 0+200 downstream to the east limit of Clark property

- Not incorporated as part of the drain.
- However, any beaver activity (dams, fallen trees, etc.) within this stretch, that negatively impacts the flow/outlet of the drain, shall be removed through the drain maintenance program. Work to access and remove such blockages is to be done to minimize damage to traversed lands, is to be done at optimum time of year to minimize damages and is subject to same approvals necessary for maintenance of other portions of the drain.

10.0 PRIVACY OF LANDS

Although a municipal drain is being constructed/incorporated across multiple private properties, there is no right for one landowner to enter onto another landowner's property. Only the Township Drainage Superintendent as part of his or her maintenance of the drain or the Engineer (or Engineer's assistants, i.e. survey and inspection crew) appointed by the Township as part of his work with respect to this report plus the selected/ approved contractors for construction and future maintenance of the drains (branches), have the right to enter onto privately owned lands of others.

11.0 DRAWINGS

11.1 PLAN

The location of the proposed Kamview Drain and the overall watershed is shown on Drawing No. 1 included with this report. This drawing shows all of the properties upstream of the new drain, and the watershed boundary as derived from the previous reports. The

numbers shown adjacent to the route of the channel are station numbers which indicate in metres the distance along the drain based on the survey. The plan also shows adjacent drains, property boundaries and Township assessment roll numbers. Property owners' names are only shown for the directly affected parcels. Drawing No. 3 shows plan details, and work to be completed in constructing the new drain.

11.2 PROFILES AND OTHER DRAWINGS

The profile for the construction work proposed as the Kamview Drain is on Drawing No. 2. The profile shows the depth and grade of the existing ditch and the proposed depth and grade of the proposed ditch. The upper thin solid line represents the existing ground level. The lower thin dashed lines represent the existing ditch bottom. The lower heavy solid line (the grade line) indicates the proposed new ditch bottom. Drawings No. 2 also contains typical cross-sections for the ditch work and other details. Drawing No. 4 contains the specific and general notes related to construction (Special Provisions).

12.0 COST ESTIMATE

The cost estimate on this project consists of the fixed allowances required to be made to the owners of properties affected, the construction cost estimate including contingency items, the engineering cost estimate, and an estimate of the construction supervision and eligible administration costs (which include financing, applications and miscellaneous costs) and includes the Net HST (1.76%) which is applicable to all construction, engineering, construction supervision and non-administrative items.

12.1 Allowances

i) Section 29 of the Drainage Act provides for the payment of allowances to landowners who will have drain construction on their property. The Section 29 allowance compensates owners for any land lost to accommodate an open drain, for any land used for access routes to the drain and for land to be used as the working area or right-of-way (R-O-W) alongside the drain for construction and for future maintenance purposes. On this project, no separate access allowances are necessary since the land designated to be used as R-O-W will also be used for access.

On this project, Section 29 allowances are provided to the three downstream landowners (I. Bull, H. & A. Van Rooyen, and G. & S. Clark). The calculation of these allowances are based on the following rates.

<u>Land Use</u>	<u>Land Lost to Channel (A)</u>	<u>Land Used for R-O-W (B)</u>
Bush	\$ 12,500/ha (\$5,000/ac)	\$ 950/ha (\$380/ac)
Pasture, Existing Laneway	\$ 25,000/ha (\$10,000/ac)	\$ 1,250/ha (\$500/ac)
Cultivated Farm Lands (Corn, Beans, etc.)	\$ 25,000/ha (\$10,000/ac)	\$ 1,850/ha (\$750/ac)
Rural Residential	\$ 62,500/ha (\$25,000/ac)	(will be one of above)

The calculation of allowances for land used as R-O-W is based on the determination of the principal (allowance) that should be given now, that will generate a sufficient interest annually that if and when accumulated will compensate for the damages when the R-O-W is used. A frequency of maintenance of 10 years and an interest rate of 4% were used in the calculation on this project.

ii) Section 30 of the Drainage Act provides for the payment of further allowances to landowners where lands are damaged during the drain construction. The Section 30 allowances

compensate the owner for damages caused by the construction equipment moving along the R-O-W and by the placement of any excavated spoil within or beyond the R-O-W. Section 30 allowances can also be made for damages along access routes. On this project, no separate access damage allowances are necessary since the land designated to be used as R-O-W will also be used for access.

Section 30 (Damages) allowances are provided in accordance with the rates as shown in the table below. The Section 30 allowances on this project will be for a 5m wide R-O-W/working areas. A minimum allowance of \$50 has been applied

<u>Land Use</u>	<u>Land Damages in R-O-W (C)</u>
Bush	\$ 950/ha (\$380/ac)
Pasture, Existing Laneway	\$ 1,250/ha (\$500/ac)
Cultivated Farm Lands (Corn, Beans, etc.)	\$ 1,850/ha (\$750/ac)

iii) In accordance with Section 62(3) of the Drainage Act RSO 1990, the allowances shown may be deducted from the final assessment levied. A net payment to the owner would only be made when the allowance is greater than the final assessment. The allowances are a fixed amount and are not adjusted at the conclusion of construction. Allowances can only be changed if the report is modified prior to adoption of the report by bylaw or in accordance with the paragraph in this report that deals with changing the scope of work after the bylaw is passed.

iv) Table of Allowances

The allowances payable to the owners entitled thereto on this project are therefore as follows:

Roll No. (32-45-020)	Owner	Sec. 29 Allowances		Sec. 30 Allowances	Total
		A	B	C	
<u>Kamview Drain - Allowances</u>					
-010-29200	I. Bull	\$ 500	\$ 75	\$ 50	\$ 625
-010-29000	H. & A. Van Rooyen	50	50	50	150
-010-34700	G. & S. Clark	275	175	50	500
TOTAL:		\$ 825	\$ 300	\$ 150	\$ 1,275

12.2 Construction Cost Estimate

The estimated cost for Labour, Equipment and Materials to construct the proposed drain work is outlined in detail in the following section. The final cost of drain construction cannot be established until the tender is let and construction is completed. The Contractor is to supply all labour, equipment and materials to construct the following:

<u>Sta.</u>	<u>Item</u>	<u>Cost</u>
<u>i) Kamview Drain</u>		
0+000 to 0+200	- Incorporate 200m of existing road crossing and channel	\$ 0
0+000 to 0+018	- Install new birdcage grate and marker on existing catchbasin	

	and install new 250mm rodent gate on outlet pipe	\$ 400
0+125	- Construct temporary straw bale check dam	\$ 500
0+018 to 0+118	- Brushing and clearing of ditch banks, ditch bottom and work area (material to be chipped and/or saw cut and left on site)	
	- Ditch cleanout to design grade (material to be hauled and disposed of off-site)	\$ 3,500
	Sub Total (Part i)	\$ 4,400

ii) Contingencies

-	Lump sum contingency allowance	\$ 400
	Sub Total Contingencies (Part ii):	\$ 400

TOTAL CONSTRUCTION COST ESTIMATE: \$ 4,800 *
(Total Parts i and ii)

12.3 Engineering Cost Estimate

Report Preparation

For work related to gathering of background information, preparing for and attending on-site meeting, field surveys including GPS surveys, fly levels and cross-sections, preparing profiles and details, drain design, conducting discussions with affected landowners and authorities, attending to alternatives (options), cost estimates, reviewing past reports, preparing assessment schedules, completing drawings and specifications, report writing, and attending Consideration of Report and Court of Revision.

Report Preparation	10,500
Consideration of Report	500
Court of Revision	<u>500</u>

TOTAL ENGINEERING COST ESTIMATE: \$ 11,500 *

The cost for report preparation and preparation of future maintenance schedules is usually not altered at the conclusion of a project unless the report is referred back or the report is appealed to the Drainage Tribunal, which would involve additional costs. The amounts shown for meetings are estimates. Final costs will be based on actual time required for meetings.

12.4 Construction Supervision, Eligible Administration Costs and Net HST (Estimate)

i) Construction Supervision

For work to prepare tender documents and to review contract award, attend pre-construction meeting, construction inspection, payments, attend final inspection meeting and do final inspection, post construction follow-up, and assist to prepare or prepare grant applications

The estimate shown for Construction Supervision is based on past experience and assumes good construction conditions and a local Contractor who completes the construction in an efficient manner. The final (actual) cost for construction supervision will vary as per the actual time spent during the construction stage plus disbursements.

Total Construction Supervision (Estimate) \$ 3,500 *

ii) Eligible Administration Cost Estimate

Section 73 of the Drainage Act indicates that specific administration costs incurred by the municipality in carrying out the Drainage Act process are eligible as a cost of the drain. Section 73(1) lists the following eligible costs: *cost of any application, reference or appeal and the cost of temporary financing*. Section 73(2) and 73(3) indicates that costs of elected and staff personnel are not eligible.

This administration cost estimate may not be adequate to cover any legal or engineering costs incurred by or assessed to the municipality should the project be appealed beyond the Court of Revision though such costs may form part of the final drain cost.

The OMAFRA Agricultural Drainage Infrastructure Program policies (applicable where the provincial grant is made) indicates that municipal costs for photocopying and mailing required to carry out the required procedures under the Drainage Act can also be included as eligible administrative costs on a drain.

The eligible administration cost estimate thus includes an allowance for the following items.

DFO/GRCA submissions (as required)	250 *
Printing of original reports	250 *
Printing of tender documents	250 *
Interest Allowance	250 *
Permits and Applications Fees Allowance	150 *
Total Eligible Administration Costs (Estimate):	\$ 1,150 *

iii) Net HST

The Harmonized Sales Tax (HST) will apply to most costs on this project (allowances are excluded). However, the Municipality is eligible for a refund of a proportion of the HST paid. Therefore, the cost estimate in this report does include a dollar allowance equivalent to a net tax (Net HST) in the amount of 1.76%. The Net HST has been rounded off to the nearest \$5. It is also shown as an eligible administration cost.

Total Net HST (1.76%)(Estimate): \$ 365

Total Construction Supervision, Eligible Administration Cost and Net HST (Estimate): \$ 5,015

12.5 Estimated Cost Summary

Allowances	\$ 1,275
Construction Costs (estimate)	4,800
Engineering Costs (estimate)	11,500
Construction Supervision, Eligible Administration Costs and Net HST	<u>5,015</u>
TOTAL ESTIMATED COST	\$ 22,590

* The Net HST (1.76%) would be applicable to these items.

13.0 ASSESSMENTS

The Drainage Act requires that the total estimated cost be assessed to the affected lands and roads under the categories of Benefit (Section 22), Outlet Liability (Section 23), Injuring Liability (Section 23), Special Benefits (Section 24), and Special Assessment (Section 26). On this project Benefit and Outlet Liability Assessments are used.

The first step in the assessment calculation is to determine the benefit assessment to the parcels that derive benefit from the drain. Next the total benefit assessment is subtracted from the total estimated cost. The remaining balance is then assessed as outlet liability on a per hectare basis to all upstream lands and roads in the watershed.

As noted, the hectares affected are adjusted prior to calculating the outlet liability. The basis for this adjustment is 1 hectare of cleared agricultural land contributing both surface and subsurface water to the drain. Areas which generate greater runoff such as roads are increased by a factor (1.5 for gravel roads and 2.0 for paved Township/County roads) and areas which generate lesser runoff such as woodlots (bush) or areas that are tiled into or out of the watershed are decreased by a factor of 0.25 to 0.50.

Section 23(1) of the Drainage Act states:

“Lands and roads that use a drainage works as an outlet, or for which, when the drainage works is constructed or improved, an improved outlet is provided either directly or indirectly through the medium of any other drainage works or of a swale, ravine, creek or watercourse, may be assessed for outlet liability.”

Benefit assessments were determined as follows:

Roll No.	Owner(s)	Amount (\$)
020-00300	Kamview Poultry Ltd.	\$ 14,500
Oxford Road 2	Oxford County	\$ 3,500
010-29200	I. Bull	\$ 550
010-29000	H. & A. Van Rooyen	\$ 125
010-34700	G. & S. Clark	\$ 425

Benefit assessments (Section 22) were generally calculated as a percentage of the total project cost but were evaluated on the basis of better use of the land through improved surface drainage and/or improved subsurface drainage, marginal increases in market value and/or ability to connect other drainage directly to the new drain.

The definition of benefit in the Drainage Act is as follows:

“the advantages to any lands, roads, buildings or other structures from the construction, improvement, repair or maintenance of a drainage works such as will result in a higher market value or increased crop production or improved appearance or better control of surface or subsurface water, or any other advantages related to the betterment of lands, roads, buildings or other structures.”

Assessment Summary

The assessments against the affected lands are summarized in Schedule A. Schedule A will be used to assess the final cost of the drain which may vary depending on final construction and engineering costs. Schedule B (Schedule of Assessments for Future Maintenance) will be used to prorate the prorateable drain repair and maintenance costs, when incurred on the Kamview Drain.

In Schedules A and B, each parcel of land assessed has been identified by the assessment roll applicable for the Township at the time of the preparation of this report. The size of each parcel was established using the assessment roll information. For convenience only, each parcel is further identified by the owners name from the last revised assessment roll. Final assessments are not levied until after the work is certified complete by the Engineer. The final assessments will thus be to the owner of the identified parcel at the time the final cost is levied. Most of the assessed properties (to date) except for the roads and small lots are considered agricultural and are taxed as Farm properties and are eligible for the Farm Property Class Tax Rate (F.P.C.T.R.) and thus are eligible for the provincial (OMAFRA) one third (33-1/3%) grant and as per OMAFRA's ADIP policies. This grant may also be available for maintenance assessments.

Appendix A shows how the amounts in Schedule A were arrived at.

Appendix B shows how the amounts in Schedule B were arrived at.

Appendix C has been prepared and is separately included to assist with the final/actual cost bylaw, schedules and the grant form. This appendix also shows what the net cost would be to each owner if the one-third (33 $\frac{1}{3}$ %) agricultural grant is received and applied where warranted, if the allowances are deducted and if the drainage works were completed exactly at the estimated cost.

14.0 MAINTENANCE

After completion, the Kamview Drain as outlined in this report shall be maintained by the Township of Blandford-Blenheim with costs of all maintenance to be assessed to the lands and roads prorata with the assessments in Schedule B (Schedule of Assessments for Future Maintenance).

To use Schedule B, the interval in which maintenance is to be undertaken must be identified. Then the dollar amounts shown will be used to establish the percentage that each landowner and road will bear for maintenance costs in that interval. If repair or maintenance is done in 2 or more intervals, the assessments shown are to be totaled. Special assessments were not included in these calculations.

It is noted that the dollar amounts in Schedule B are not amounts to be paid. They are only theoretical amounts that are there to establish the percentages that lands and roads would pay of whatever maintenance costs are incurred in the future.

The cost of replacing and maintaining any road culverts or crossings are to be assessed fully to the road authority upon whose right of way they exist. The road authority always has to be given the option of replacing or maintaining any crossing directly with their own forces.

All parties affected by the Kamview Drain are encouraged to periodically inspect the drain once constructed and report any visible or suspected problems to the Township of Blandford-Blenheim. If any areas require corrective work as the result of construction deficiencies, such will be attended to as part of the contract.

Each owner affected must provide an access route to the drain for access by the Township to undertake necessary repair or maintenance. As well, a right-of-way along the drain route

with a width up to the working area width described in the drawings is also to be available for future maintenance. The allowances do include components to compensate for access and a minimum right-of-way along the drain.

The drain for future maintenance purposes will include the 600x600mm concrete catchbasin on the west side of Oxford Road 22, the 18m of 250mm dia. catchbasin outlet pipe across the road to the east, and 182m of ditch downstream/east of Oxford Road 22.

15.0 BYLAW

This report including schedules, appendices, drawings and specifications, when adopted by bylaw in accordance with the Drainage Act, RSO 1990, will provide the basis for construction and maintenance of this project.

16.0 GRANTS

In accordance with the provisions of Section 85 of the Drainage Act and OMAFRA's ADIP policies, a grant not exceeding 1/3 (33-1/3%) may be available on the assessments against privately owned parcels of land which are used for agricultural purposes and are eligible for the Farm Property Class Tax Rate (F.P.C.T.R.). Section 88 of the Drainage Act directs the Township to make application for this possible grant upon certification of completion of the drain provided for in this report. The Township will then deduct the grant from the assessments prior to collecting the final assessments.

If an assessed owner not shown as having the Farm Property Class Tax Rate feels that their property should be eligible for the grant, and they can provide proof to the Municipality of this eligibility as noted prior to the final cost levy then the property could have the one-third (33-1/3%) grant deducted from the final cost levy. Please be advised that OMAFRA retains the final right to determine eligibility under the grant program, regardless of designation herein.

In accordance with Section 85 of the Drainage Act, a grant not exceeding one third (33-1/3%) may also be available in the future on the assessments against privately owned parcels of land used for agriculture (again as per OMAFRA's ADIP policies), for maintenance and repair, if done on the recommendation and supervision of an approved Drainage Superintendent and using the same eligibility requirements as outlined above.

17.0 CHANGES TO DRAIN AFTER BYLAW IS PASSED AND BEFORE COST IS LEVIED

Should changes, deletions or extensions to the drain work proposed in this report be requested or required after the bylaw is passed and the contract is awarded, there may be some difficulty in attending to such. Since this drain work is to be constructed in accordance with a Bylaw of the Township of Blandford-Blenheim, changes to the drain work cannot be undertaken without a change to the bylaw. An exception would be very minor changes which are approved by the Engineer and the Township in accordance with the General Conditions in the report.

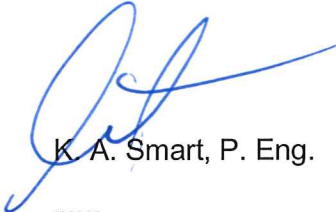
If it is desired to make a substantial addition or deletion to the drain work proposed in this report, it will be necessary that a revised report be prepared and processed through the

Drainage Act, or in some cases, an application to the Ontario Drainage Tribunal may be made under the Drainage Act to obtain approval for a necessary change.

If any individual or group of owners require additional work related to the proposed drain work and are prepared to pay for such, they may make their own arrangements with the contractor to have such work constructed. The Engineer must pre-approve such additions to verify there is no impact on the function or maintenance of the drain and drain work as proposed. Even so, the work added would not form part of the drain for the purpose of future maintenance.

All of which is respectfully submitted,

K. SMART ASSOCIATES LTD.



K. A. Smart, P. Eng.
mw

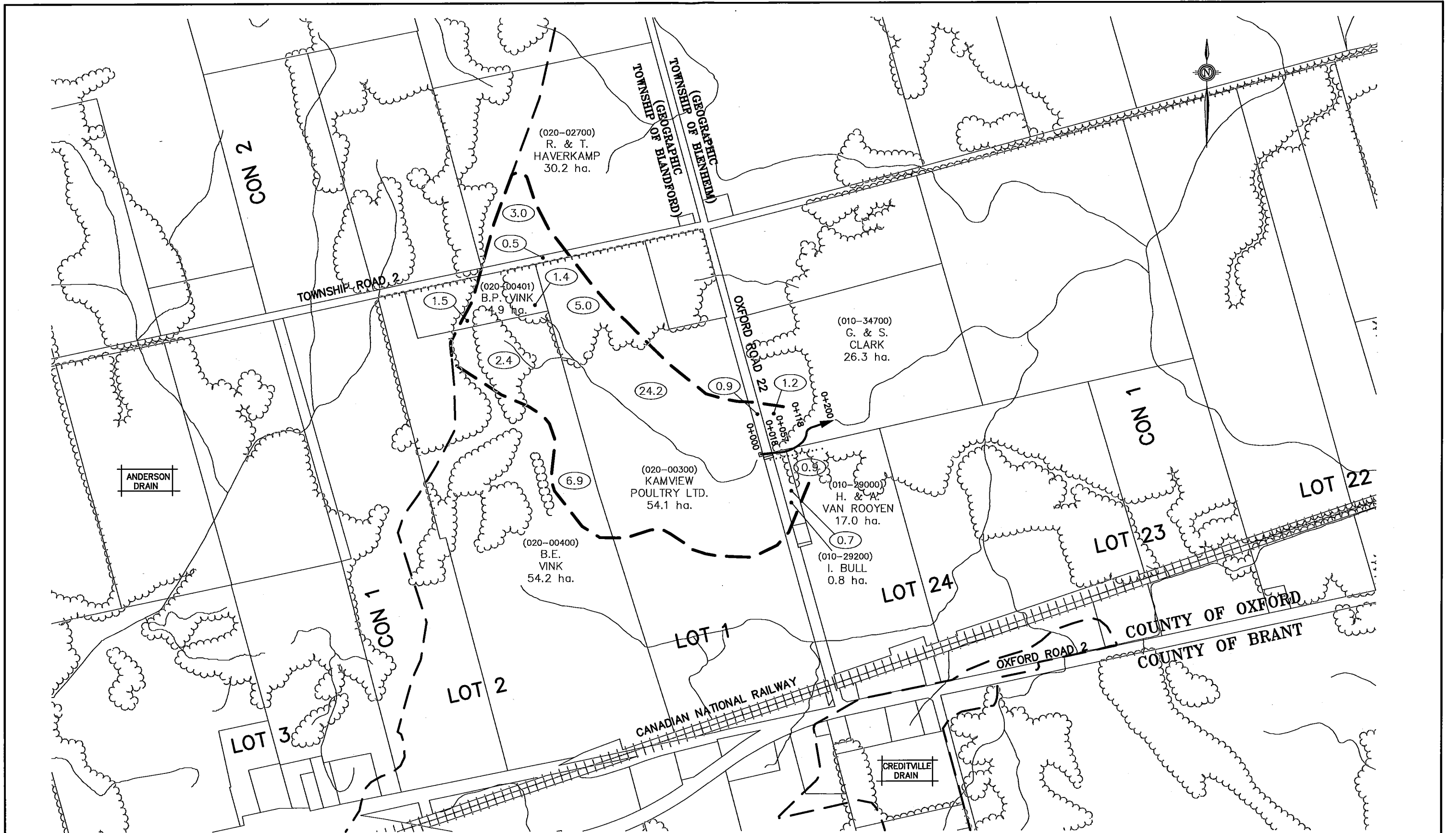


**APPENDIX C - ESTIMATED NET ASSESSMENTS
KAMVIEW DRAIN
Township of Blandford-Blenheim**

					Gross			Net
Con	Lot	Roll No.	Owner		Assessment	1/3 Grant	Allowance	Assessment
					(\$)	(\$)	(\$)	(\$)
<u>Twp. Of Blandford-Blenheim</u>				<u>Lands</u>				
<i>(32-45-010-) Former Blandford Twp.</i>								
F	2	S½ 1	020-02700	R. & T. Haverkamp	241	80	-	161
F	1	Pt 1	020-00300	Kamview Poultry Ltd.	16,642	5,547	-	11,095
F	1	Pts 1 & 2	020-00400	B.E. Vink	650	217	-	433
F	1	Pts 1 & 2	020-00401	B.P. Vink	177	59	-	118
<i>(32-45-020-) Former Blenheim Twp.</i>								
F	1	Pt 24	010-29000	H. & A. Van Rooyen	145	48	150	(53)
	1	Pt 24	010-29200	I. Bull	578	-	625	(47)
	1	Pt 24	010-34700	G. & S. Clark	449	-	500	(51)
Sub-total (Lands):					18,882	5,952	1,275	11,655
				<u>Roads</u>				
Township Road 2				Township of Blandford-Blenheim	64	-	-	64
Oxford Road 22				Oxford County	3,644	-	-	3,644
Sub-total (Roads):					3,708	-	-	3,708
TOTAL ASSESSMENT KAMVIEW DRAIN:					22,590	5,952	1,275	15,363

Notes:

1. The above lands marked "F" are currently classified as agricultural according to the OMAFRA and are therefore entitled to a 1/3 grant . Eligibility for the 1/3 grant will be confirmed at the time the final cost is levied.
2. Section 21 of the Drainage Act, RSO 1990 requires that assessments be shown opposite each parcel of land and road affected. The affected parcels of land have been identified using the roll number from the last revised assessment roll for the Township. For convenience only, the owners' names as shown by the last revised assessment roll, has also been included.
3. All lands shown above are in the Township of Blandford-Blenheim.
4. Actual assessment is levied to the owner of the parcel at the time the final cost is levied.



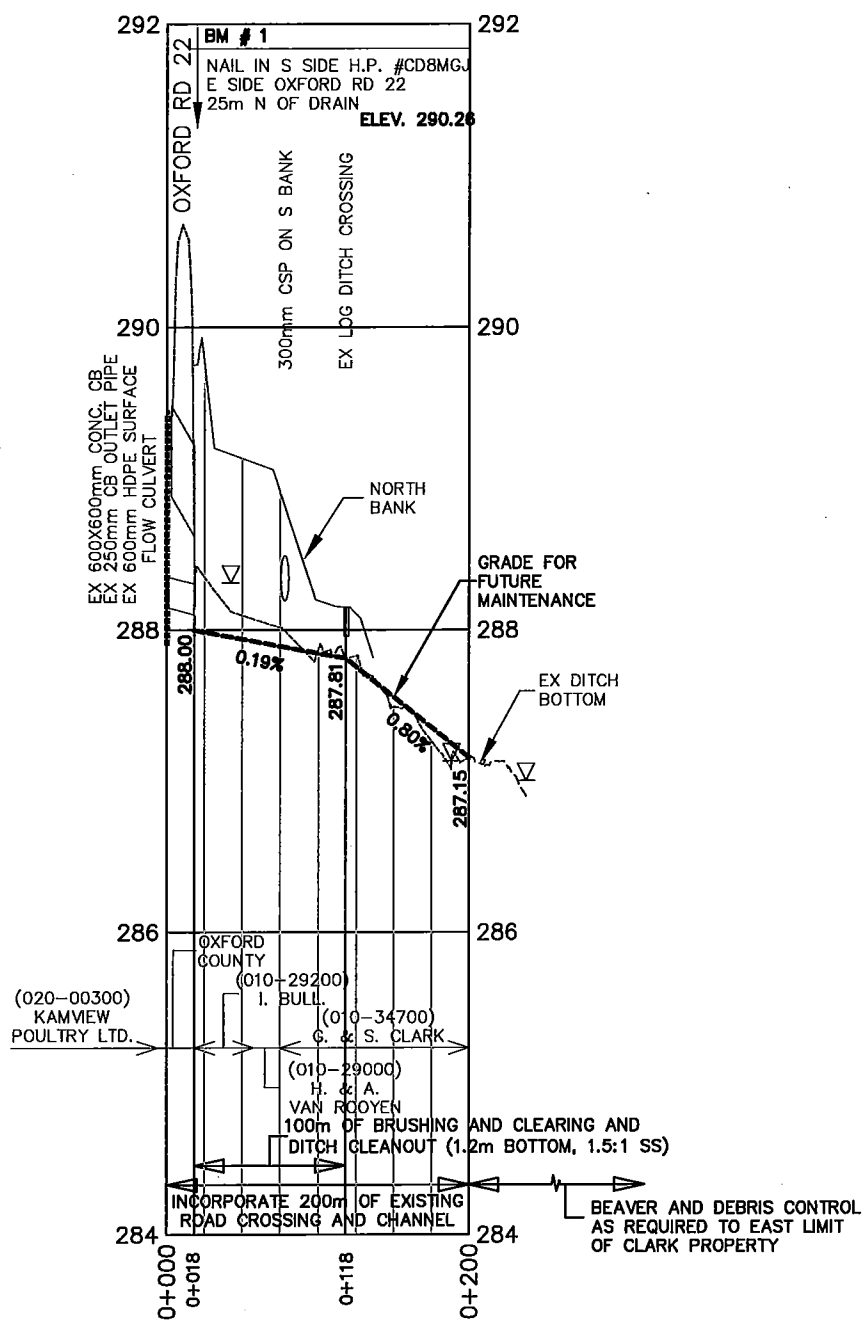
PLAN LEGEND	
	MAJOR WATERSHED
	ADJACENT DRAIN WATERSHED
	PROPOSED WORK OR INCORPORATION
	ACCESS
	DENOTES PROPERTY OWNERSHIP ON BOTH SIDES OF LOT LINE
	APPROXIMATE HECTARES IN WATERSHED
	HECTARES OWNED
	ASSESSMENT ROLL NUMBER

DESIGNED BY: R.J.R.
 CHECKED BY: K.A.S.
 DRAWN BY: D.C.P.
 CHECKED BY: K.A.S.

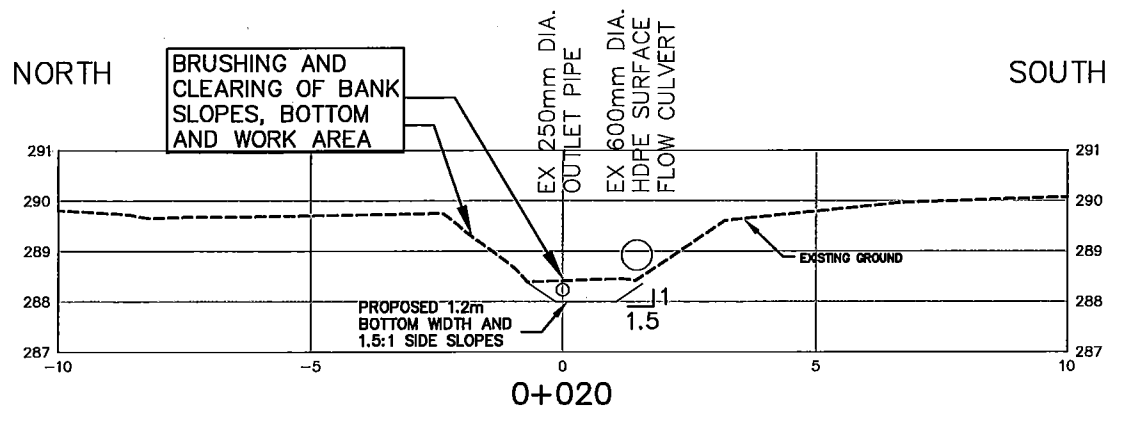
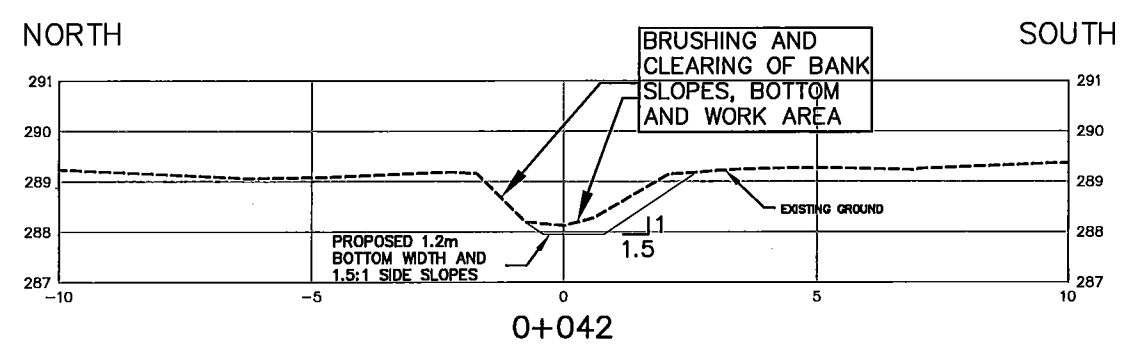
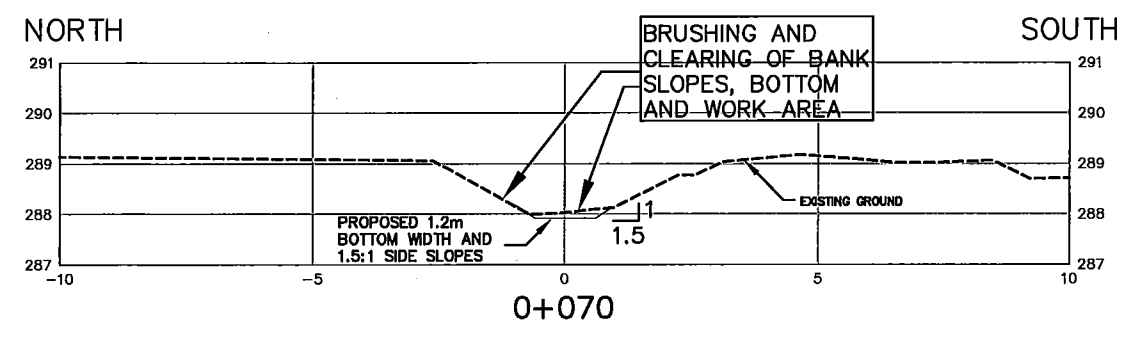
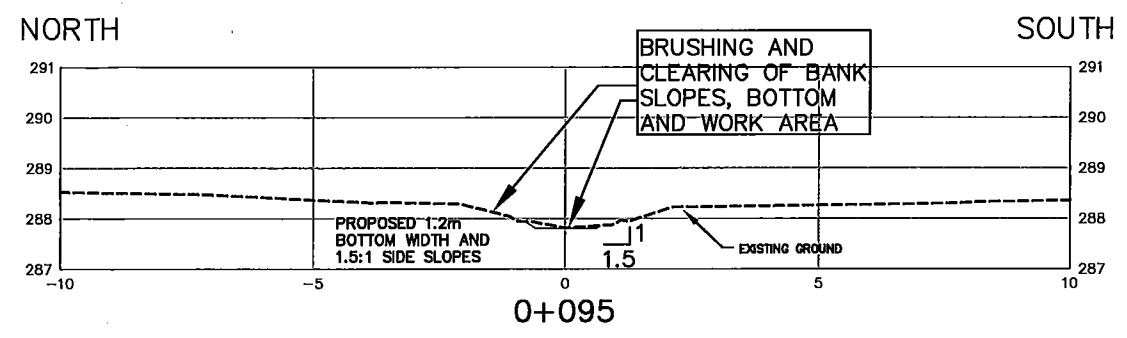


SCALE
 0 100 200m
 (1:10000)
 ON 11"x17"

KAMVIEW DRAIN	
OXFORD COUNTY	TOWNSHIP OF BLANDFORD-BLENHEIM
WATERSHED PLAN	FEB 13, 2017
 K. SMART ASSOCIATES LIMITED CONSULTING ENGINEERS AND PLANNERS KITCHENER SUDBURY	REVISED:
	JOB NUMBER: 16-235
	DRAWING 1 OF 4



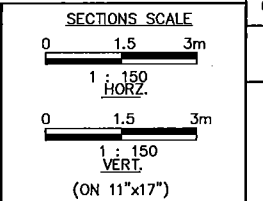
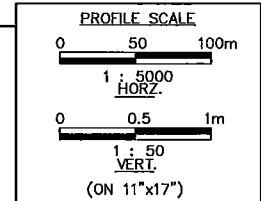
PROFILE



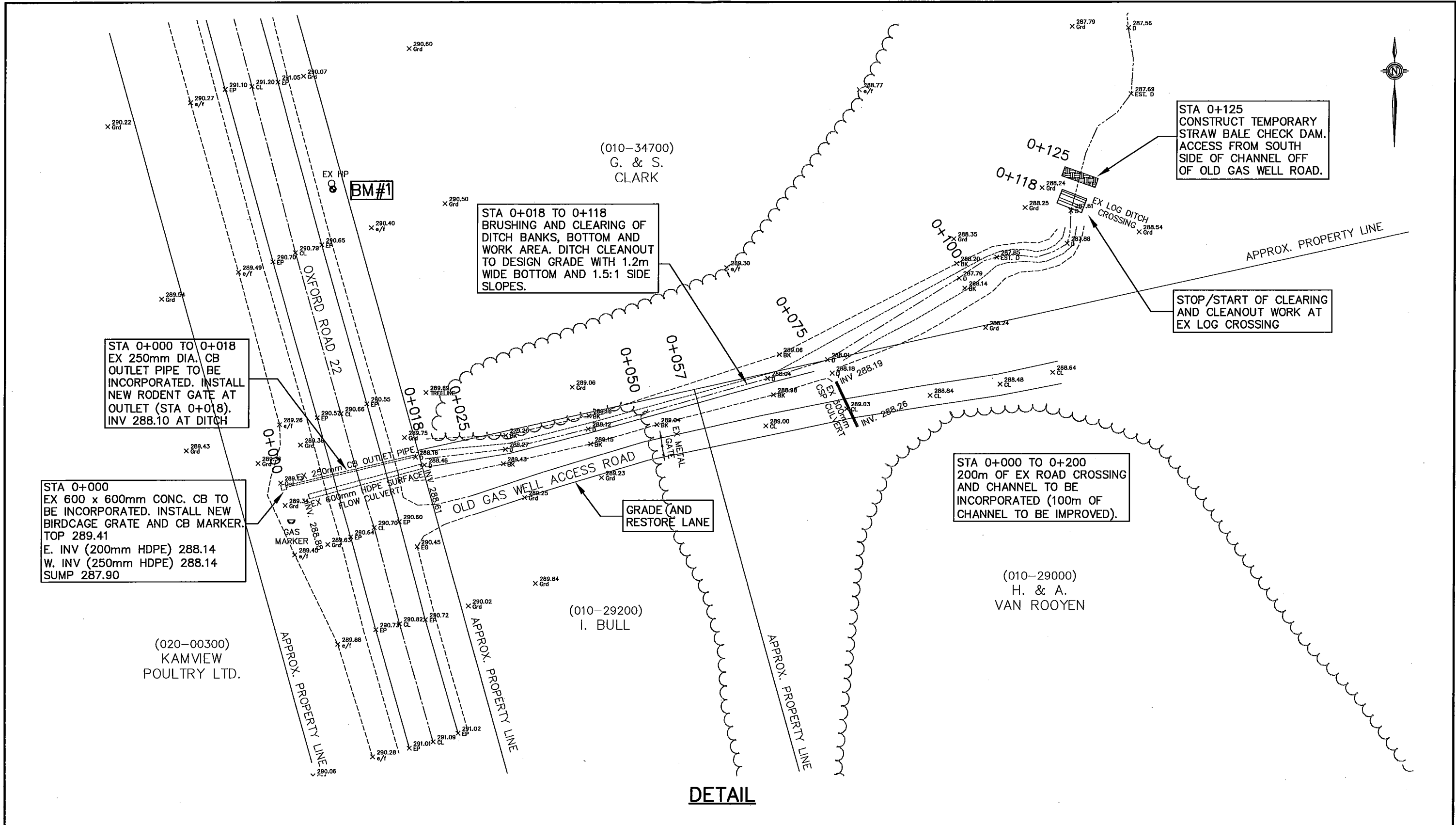
SECTIONS

THE POSITION OF POLE LINES, CONDUITS, WATERMAINS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND, WHERE SHOWN, THE ACCURACY IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

DESIGNED BY: R.J.R.
CHECKED BY: K.A.S.
DRAWN BY: N.M.B.
CHECKED BY: K.A.S.



KAMVIEW DRAIN	
OXFORD COUNTY	TOWNSHIP OF BLANDFORD-BLENHEIM
PROFILE & SECTIONS	FEB 13, 2017
K. SMART ASSOCIATES LIMITED CONSULTING ENGINEERS AND PLANNERS KITCHENER SUDBURY	REVISED:
	JOB NUMBER: 16-235
	DRAWING: 2 OF 4



STA 0+000 TO 0+018
EX 250mm DIA. CB
OUTLET PIPE TO BE
INCORPORATED. INSTALL
NEW RODENT GATE AT
OUTLET (STA 0+018).
INV 288.10 AT DITCH

STA 0+000
EX 600 x 600mm CONC. CB TO
BE INCORPORATED. INSTALL NEW
BIRDCAGE GRATE AND CB MARKER.
TOP 289.41
E. INV (200mm HDPE) 288.14
W. INV (250mm HDPE) 288.14
SUMP 287.90

STA 0+018 TO 0+118
BRUSHING AND CLEARING OF
DITCH BANKS, BOTTOM AND
WORK AREA. DITCH CLEANOUT
TO DESIGN GRADE WITH 1.2m
WIDE BOTTOM AND 1.5:1 SIDE
SLOPES.

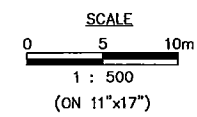
STA 0+125
CONSTRUCT TEMPORARY
STRAW BALE CHECK DAM.
ACCESS FROM SOUTH
SIDE OF CHANNEL OFF
OF OLD GAS WELL ROAD.

STOP/START OF CLEARING
AND CLEANOUT WORK AT
EX LOG CROSSING

STA 0+000 TO 0+200
200m OF EX ROAD CROSSING
AND CHANNEL TO BE
INCORPORATED (100m OF
CHANNEL TO BE IMPROVED).

THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND
OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES
IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND,
WHERE SHOWN, THE ACCURACY IS NOT GUARANTEED. BEFORE
STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE
EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND
SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

DESIGNED BY: R.J.R.
CHECKED BY: K.A.S.
DRAWN BY: N.M.B.
CHECKED BY: K.A.S.



KAMVIEW DRAIN	
OXFORD COUNTY	TOWNSHIP OF BLANDFORD-BLENHEIM
DETAIL	FEB 13, 2017
	K. SMART ASSOCIATES LIMITED CONSULTING ENGINEERS AND PLANNERS KITCHENER SUDBURY
	REVISED: JOB NUMBER: 16-235 DRAWING
	3 OF 4

CONSTRUCTION NOTES (SPECIAL PROVISIONS)

A) SPECIFIC NOTES

G. & S. Clark (Roll No. 010-34700)

0+125 - Construct temporary straw bale dam sediment trap (access via foot trail through G. & S. Clark bush on north side of ditch).

0+075 to 0+118 - Brushing and clearing of north and south ditch banks, ditch bottom and work area (approx. 10m width).
- All materials to be power chipped and left on site or chainsawed and disposed of off-site. Excavate and bury any roots.
- Ditch cleanout to design grade (see profile and cross section drawings).
- All work to be done from south side of ditch (old gas well road).

H. & A. Van Rooyen (Roll No. 010-29000)/ G. & S. Clark (Roll No. 010-34700)

0+057 to 0+075 - Brushing and clearing of north and south ditch banks, ditch bottom and work area (approx. 10m width).
- All materials to be power chipped and left on site or chainsawed and disposed of off-site. Excavate and bury any roots.
- Ditch cleanout to design grade (see profile and cross section drawings).
- All work to be done from south side of ditch (old gas well road).
- Grade and restore laneway.

I. Bull (Roll No. 010-29200)/ G. & S. Clark (Roll No. 010-34700)

0+018 to 0+057 - Brushing and clearing of north and south ditch banks, ditch bottom and work area (approx. 10m width).
- All materials to be power chipped and left on site or chainsawed and disposed of off-site. Excavate and bury any roots.
- Ditch cleanout to design grade (see profile and cross section drawings).
- All work to be done from south side of ditch (old gas well road).
- Grade and restore lane.

Oxford Road 22 (Oxford County)

0+000 to 0+018 - Install new birdcage grate and marker on existing catchbasin on west side of road.
- Install new 250mm rodent gate on outlet pipe on east side of road.

B) GENERAL NOTES

Working Area

Up to a 10m width for the ditch work is required.
Refer to General Specifications E.10 for exceptions.

Access - General Condition E.11

The Contractor shall have access to the drain along the routes shown on the plan. The access routes shall be along existing laneways or paths or where none exist, along a 6m wide (maximum) path. All specifications governing fences, livestock and crops during drain construction shall apply to access routes except where superseded by notes on the drawings. No other access routes shall be used unless first approved by the Engineer and affected landowner. The Contractor shall also contact each owner prior to using designated accesses.

Telephone numbers for contact are:

(32-45-010)		
-020-00300	Kamview Poultry Ltd. (R. Haverkamp)	
(32-45-020)		TO BE
-010-29000	H. & A. Van Rooyen	PROVIDED
-010-29200	I. Bull	AT TIME
-010-34700	G. & S. Clark	OF CONSTRUCTION

Twp of Blandford-Blenheim (Jim Harmer, Drainage Supt) 519-463-5347

Engineer (K. Smart, P. Eng. (Ext 224), Naf Kulafofski (Ext 245) or Ray Roscovich (Ext 248) 519-748-1199

One Call Centre 1-800-400-2055

Disposal of Excavated Material

All materials to be loaded and hauled off site for disposal. Only if Contractor obtains signed permission from a landowner to level on site can materials be levelled on site. Contractor to locate disposal site.

Restoration of Existing Laneway

From Sta. 018 to 075 work will be along a former graveled access lane. Minimizes damage to lane and grade it to match existing conditions when finished. If additional granular is required for restoration, Township will supply but the Contractor is to grade such as part of the project.

Fences

All fences are to be both removed and re-erected by Contractor to existing conditions or better unless described otherwise by notes on the drawings.
Refer to General Specification E.38.
Refer to General Specification E.39 re livestock and fences.

Utilities

The Contractor shall arrange with all local utility companies (telephone, Union Gas, hydro) to verify the location of all utilities within road allowances and on private lands. All utilities shall be exposed to the satisfaction of the utility company to verify that their elevations will not conflict with the construction of the drain at the specified elevations. Provisions for protection and relocation of utilities that conflict with the drain as designed will be determined at the time of construction.

Seeding of Disturbed Green/Lawn Areas (Where Required - Including Road Right of Ways)

Seed mixture shall be an approved residential lawn mixture (Canada No. 1). Contractor shall arrange for watering new seed with owners. Contractor responsible for re-seeding as necessary for uniform catch during warranty period. Also to be in accordance with OPSD 572 (seeding and mulching).

Brushing/Clearing and Grubbing (If Required)

The Specific Notes specify the locations where brushing and clearing are required. The preferred method of brushing and clearing is to power grind all brush, trunks and branches and to leave the chippings on site. Otherwise materials are to be chain sawed and hauled away. The optional method, and only where the landowner agrees, is to have all clearing done by chain saw with disposal of the cut materials on site but in adjacent bush areas if any. Where done, chain sawing is to be done so no particles longer than 3m result.

Roots do not have to be removed except where affected by the excavation.

The disposal of roots/stumps in all cases is to be in with adjacent standing trees or by excavation and burial with a minimum of 1 metre of cover or by hauling away.

Where trees are to be cleared and a landowner requires the good timber to be left on site

and where greater than 150mm in diameter, the Contractor shall brush (delimb) such, shall cut such up into 6m lengths and leave such on the edge of the cleared area. Each owner shall be responsible, prior to Contractor's moving onto site, to paint or otherwise identify those trees which he/she wants delimbed and saved.

The Engineer (or his representative) will identify, if requested, by ribbon or flagging the trees or treed area to be cleared, cleared and grubbed and disposed of on this job.

Temporary Straw Bale Dam/Sediment Trap

Temporary straw bale dam/sediment traps shall be installed in any ditch prior to any excavation taking place upstream of that location. The trap may be straw bales unless rock is specified. The straw bale dam is to consist of a minimum of 2 rows of 3 bales each with 2 iron fence posts or 1.2m long wood stakes per bale are to be used. The straw bales are to be embedded 150mm.

The Contractor shall maintain the temporary straw bale dam/sediment trap during the course of construction and for up to one year after completion of the work. The sediment traps shall be temporary (one year) and shall stay in place over one winter (or for less time if the Engineer directs) and are to be removed and disposed of. Accumulated sediments shall be removed and leveled as well. As well, prior to leaving the project site, at the end of the construction year, any accumulated sediments shall be removed and leveled. The Contractor can choose to use rock for temporary sediment trap.

Review of Drain with Landowners and Township Prior to Start-up

The drain is to be walked by the Contractor, Township and Engineer (or his assistant) and each landowner prior to construction. It is expected that different portions will be examined at different times. The Contractor shall give the Engineer, Township and landowners at least one week notice of the time that the review may be undertaken. Should the Engineer or Township wish to be present they may so attend. Any difference of opinion as to the work to be done shall be referred to the Engineer for decision. If the landowner is not contacted for such review, he is to advise the Engineer and/or Township.

Sign-Off Letters at End of Construction

The Contractor shall, at the end of construction, obtain from each landowner a statement indicating that the work has been performed to the landowner's satisfaction. If the Contractor is unable to get such letter from the landowner, the Engineer will determine if further work is required prior to releasing the Contractor from the work without the landowner's letter.

As an alternate, at the Engineer's discretion, if the landowner attends a post-construction meeting and/or speaks to the Engineer prior to the post-construction meeting, the written sign-off requirement may be waived.

Pre and Post Construction Meetings

The Contractor is required to attend a pre- and post- construction site meeting with the Engineer, landowners and Township before starting and after finishing the work.

**SCHEDULE A - SCHEDULE OF ASSESSMENTS
KAMVIEW DRAIN
Township of Blandford-Blenheim**

Con	Lot	Roll No.	Owner	Affected Area (ha)	Benefit (\$)	Outlet (\$)	Total (\$)
Twp. Of Blandford-Blenheim							
Lands							
<i>(32-45-010-) Former Blandford Twp.</i>							
2	S½ 1	020-02700	R. & T. Haverkamp	3.00	-	241	241
1	Pt 1	020-00300	Kamview Poultry Ltd.	29.20	14,500	2,142	16,642
1	Pts 1 & 2	020-00400	B.E. Vink	9.30	-	650	650
1	Pts 1 & 2	020-00401	B.P. Vink	2.90	-	177	177
<i>(32-45-020-) Former Blenheim Twp.</i>							
1	Pt 24	010-29000	H. & A. Van Rooyen	0.90	125	20	145
1	Pt 24	010-29200	I. Bull	0.70	550	28	578
1	Pt 24	010-34700	G. & S. Clark	1.20	425	24	449
Sub-total (Lands):				47.20	15,600	3,282	18,882
Roads							
Township Road 2		Township of Blandford-Blenheim		0.50	-	64	64
Oxford Road 22		Oxford County		0.90	3,500	144	3,644
Sub-total (Roads):				1.40	3,500	208	3,708
TOTAL ASSESSMENT KAMVIEW DRAIN:				48.60	19,100	3,490	22,590

Notes:

- Section 21 of the Drainage Act, RSO 1990 requires that assessments be shown opposite each parcel of land and road affected. The affected parcels of land have been identified using the roll number from the last revised assessment roll for the Township. For convenience only, the owners' names as shown by the last revised assessment roll, has also been included.
- All lands shown above are in the Township of Blandford-Blenheim.

**SCHEDULE B - SCHEDULE OF ASSESSMENTS
FOR FUTURE MAINTENANCE
KAMVIEW DRAIN
Township of Blandford-Blenheim**

Con	Lot	Roll No.	Owner	Interval 1	
				\$	%
<u>Twp. Of Blandford-Blenheim</u>					
<u>Lands</u>					
<i>(32-45-010-) Former Blandford Twp.</i>					
2	S½ 1	020-02700	R. & T. Haverkamp	24	0.9
1	Pt 1	020-00300	Kamview Poultry Ltd.	1,915	73.7
1	Pts 1 & 2	020-00400	B.E. Vink	65	2.5
1	Pts 1 & 2	020-00401	B.P. Vink	18	0.7
<i>(32-45-020-) Former Blenheim Twp.</i>					
1	Pt 24	010-29000	H. & A. Van Rooyen	27	1.0
1	Pt 24	010-29200	I. Bull	78	3.0
1	Pt 24	010-34700	G. & S. Clark	52	2.0
Sub-total (Lands):				2,179	83.8
<u>Roads</u>					
	Township Road 2		Township of Blandford-Blenheim	6	0.2
	Oxford Road 22		Oxford County	415	16.0
Sub-total (Roads):				421	16.2
TOTAL ASSESSMENT KAMVIEW DRAIN:				2,600	100.0

Notes:

1. Section 21 of the Drainage Act, RSO 1990 requires that assessments be shown opposite each parcel of land and road affected. The affected parcels of land have been identified using the roll number from the last revised assessment roll for the Township. For convenience only, the owners' names as shown by the last revised assessment roll, has also been included.
2. All lands shown above are in the Township of Blandford-Blenheim.
3. See Drawing 1 for location of stations.
4. The dollar amounts shown are not amounts to be paid at this time. These amounts were used to create the percentages or portion that each parcel (property) and road will pay for any future maintenance repair or maintenance costs.

**APPENDIX A - CALCULATION OF ASSESSMENTS
KAMVIEW DRAIN
Township of Blandford-Blenheim**

INTERVAL				INTERVAL 1			Gross Total		
COST ESTIMATE									
						1,275	1,275		
						4,800	4,800		
						15,000	15,000		
						1,150	1,150		
						365	365		
TOTAL COST ESTIMATE						22,590	22,590		
Conc.	Lot	Roll No.	Owner	Total Ha Affected	Total ha Adjusted	Benefit	Ha Adjusted	Outlet	Total
<u>Twp. Of Blandford-Blenheim</u>									
<u>Lands</u>									
			<i>(32-45-010-) Former Blandford Twp.</i>						
2	S½ 1	020-02700	R. & T. Haverkamp	3.0	3.00		3.0	241	241
1	Pt 1	020-00300	Kamview Poultry Ltd.	29.2	26.70	14,500	26.7	2,142	16,642
1	Pts 1 & 2	020-00400	B.E. Vink	9.3	8.10		8.1	650	650
1	Pts 1 & 2	020-00401	B.P. Vink	2.9	2.20		2.2	177	177
			<i>(32-45-020-) Former Blenheim Twp.</i>						
1	Pt 24	010-29000	H. & A. Van Rooyen	0.9	0.25	125	0.25	20	145
1	Pt 24	010-29200	I. Bull	0.7	0.35	550	0.35	28	578
1	Pt 24	010-34700	G. & S. Clark	1.2	0.30	425	0.3	24	449
Sub-total (Lands):				47.2	40.90	15,600	40.9	3,282	18,882
<u>Roads</u>									
	Township Road 2		Township of Blandford-Blenheim	0.5	0.80		0.8	64	64
	Oxford Road 22		Oxford County	0.9	1.80	3,500	1.8	144	3,644
Sub-total (Roads):				1.4	2.60	3,500	2.6	208	3,708
TOTAL ASSESSMENT KAMVIEW DRAIN:				48.6	43.50	19,100	43.5	3,490	22,590

Ha's Adjusted as Follows:

- Gravel roads x 1.5 for increased runoff.
- Paved roads x 2.0 for increased runoff
- Bush and/or low areas and/or areas tiled elsewhere x 0.5 for decreased runoff

**APPENDIX B - CALCULATION OF ASSESSMENTS FOR FUTURE MAINTENANCE
KAMVIEW DRAIN
Township of Blandford-Blenheim**

COST ESTIMATE FOR DITCH CLEANOUT (\$13/m)						\$ 2,600			
Conc.	Lot	Roll No.	Owner	Total Ha Affected	Total ha Adjusted	Benefit	Ha Adjusted	Outlet	%
Twp. Of Blandford-Blenheim									
Lands									
<i>(32-45-010-) Former Blandford Twp.</i>									
2	S½ 1	020-02700	R. & T. Haverkamp	3.00	3.00		3.00	24	0.9
1	Pt 1	020-00300	Kamview Poultry Ltd.	29.20	26.70	1,700	26.70	215	73.7
1	Pts 1 & 2	020-00400	B.E. Vink	9.30	8.10		8.10	65	2.5
1	Pts 1 & 2	020-00401	B.P. Vink	2.90	2.20		2.20	18	0.7
<i>(32-45-020-) Former Blenheim Twp.</i>									
1	Pt 24	010-29000	H. & A. Van Rooyen	0.90	0.25	25	0.25	2	1.0
1	Pt 24	010-29200	I. Bull	0.70	0.35	75	0.35	3	3.0
1	Pt 24	010-34700	G. & S. Clark	1.20	0.30	50	0.30	2	2.0
Sub-total (Lands):				47.20	40.90	1,850	40.90	329	83.8
Roads									
Township Road 2			Township of Blandford-Blenheim	0.50	0.80		0.80	6	0.2
Oxford Road 22			Oxford County	0.90	1.80	400	1.80	15	16.0
Sub-total (Roads):				1.40	2.60	400	2.60	21	16.2
TOTAL ASSESSMENT KAMVIEW DRAIN:				48.60	43.50	2,250	43.50	350	100.0

Total Outlets	350
Ha. Into Interval	44
Outlet Rate / Ha	8

Ha's Adjusted as Follows:

- Gravel roads x 1.5 for increased runoff.
- Paved roads x 2.0 for increased runoff
- Bush and/or low areas and/or areas tiled elsewhere x 0.25 to 0.50 for decreased runoff



TOWNSHIP OF BLANDFORD-BLENHEIM

Agenda Item

To:	Members of Council	From:	Katie Koski, Deputy Treasurer
Reviewed By:	Denise Krug, Treasurer Rodger Mordue, CAO	Date:	March 2, 2017
Report #:	TR-17-04	Council Meeting Date:	March 15, 2017
Subject:	Statement issued with respect to 2016 Salaries, Benefits & Expenses		

Recommendation:

That Report TR-17-04 be received as information.

Background:

Pursuant to the Municipal Act, 2001, Chapter 25 Section 284(1) the treasurer is required to prepare a report which discloses total salaries, benefits, and other expenditures made by municipal councillors and board members. The following table provides a summary of these expenses.

Remuneration was paid as per 2016 Council Remuneration By-law 1946-2016.

Analysis/Discussion:

Name	Salary	Benefits	Sub-Total	Conventions & Seminars	Total
Members of Council:					
Randy Balzer	\$13,887.24	\$472.49	\$14,359.73	\$0.00	\$14,359.73
Bruce Banbury	\$13,887.24	\$180.53	\$14,067.77	\$1,833.81	\$15,901.58
Elizabeth Cowan	\$13,887.24	\$472.49	\$14,359.73	\$0.00	\$14,359.73
Mark Peterson	\$13,887.24	\$472.49	\$14,359.73	\$0.00	\$14,359.73
Marion Wearn	\$20,723.88	\$723.68	\$21,447.56	\$1,496.34	\$22,943.90
Police Services Board:					
Bev Beaton	\$1,500.00	\$112.10	\$1,612.10	\$1,133.67	\$2,745.77
Bartlett Karen	\$1,800.00	\$167.08	\$1,800.00	\$1,141.46	\$2,941.46
Marion Wearn	\$1,500.00	\$0.00	\$1,500.00	\$0.00	\$1,500.00
Cemetery Board:					
Loree Currah	\$70.00	\$3.17	\$73.17	\$0.00	\$73.17
Totals:	\$81,142.84	\$2,604.04	\$83,579.80	\$5,605.28	\$89,185.08

Financial Considerations:

N/A

Respectfully submitted by:

Katie Koski
Deputy Treasurer



TOWNSHIP OF BLANDFORD-BLENHEIM

Agenda Item

To: Members of Council
Reviewed By: Denise Krug, Director of Finance
Subject: Development Charges
Report #: CAO-17-10

From: Rodger Mordue, CAO/Clerk
Date: March 2, 2017
Council Meeting Date: March 15, 2017

Recommendation:

That Report CAO-17-10 be received as information.

Background:

The Township passed a Development Charges By-law on August 6, 2014. Section 15 of the By-law establishes the authority to adjust the development charges set out in Schedule B of the by-law annually on April 1, each year, without amendment to the by-law, in accordance with the most recent twelve month change in the Statistics Canada Quarterly, "Construction Price Statistics".

Analysis/Discussion:

The Township has the ability to alter the development charges to accommodate for inflation. This ability is contained in Section 15 of the current By-law. The following table illustrates the Development Charges Currently in place compared to the Charges that will come into effect when the charges are indexed in accordance with the Construction Price Index:

Residential Unit Type	Current Charge	3.7% adjustment	Charge as of April 1, 2017
Singles & Semis	5,088.35	188.27	5,276.62
Rows & other multiples	3,635.42	134.51	3,769.93
Apartment - 2 bedroom units	2,643.66	97.81	2,741.48
Apartment – 1 bedroom units	1,982.49	73.35	2,055.84

Non-residential properties are exempt from Township Development Charges under the current by-law.

Financial Considerations:

The Township's Development Charges by-law allows for the fees charged to be adjusted annually based on the most recent twelve month change in the Statistics Canada Quarterly "Construction Price Index". The 2016 fourth quarter data places the year-over-year change at 3.7%.

Attachments:

- Information sheet from Hemson Consulting on Development Charge Indexing

Respectfully submitted by:

Rodger Mordue
CAO/Clerk

DEVELOPMENT CHARGE INDEXING

Information Sheet

February 14, 2017

Development Charge rates can be indexed to account for inflation. Most Development Charges By-laws call for annual indexing. The *Development Charges Act, 1997* (s.5 (1) (10)) and *O.Reg. (82/98* (s.7) prescribe one index for adjusting development charge rates for inflation: Construction Price Statistics, Catalogue No. 62-007-XPB, Statistics Canada Quarterly.

NON-RESIDENTIAL BUILDING CONSTRUCTION PRICE INDEX

- data published for 7 census metropolitan areas throughout Canada, including Toronto and Ottawa;
- measures the change in the contractors' selling price of new non-residential construction projects (i.e. commercial, industrial and institutional);
- includes both general and trade contractors' work and excludes the cost of land, design and real estate fees; and
- samples are taken of five different building types.

For more information please contact the Hemson Finance Department, 416-593-5090, hemson@hemson.com

NON-RESIDENTIAL BUILDING COST INDEX: TORONTO CMA

	Actual Index	% Changes		
		Quarterly	Semi-Annual	Annual
2014 4 th Quarter	155.1	0.5%	0.6%	1.9%
2015 1 st Quarter	156.2	0.7%	1.2%	2.1%
2 nd Quarter	156.8	0.4%	1.1%	1.8%
3 rd Quarter	157.2	0.3%	0.6%	1.8%
4 th Quarter	157.7	0.3%	0.6%	1.7%
2016 1 st Quarter	158.8	0.7%	1.0%	1.7%
2 nd Quarter	161.6	1.8%	2.5%	3.1%
3 rd Quarter	162.3	0.4%	2.2%	3.2%
4 th Quarter	163.5	0.7%	1.2%	3.7%

Hemson Consulting assists the public and private sectors with municipal finance, planning policy, demographics, and property assessment.

Recent work includes studies on:

- Development Charges
- Long Range Financial Planning
- Fiscal Impact Analysis
- Water and Sewer Full Cost Recovery Rate Setting (Bill 175)
- Water and Sewer Financial Plan (*SDWA*)
- Building, Planning and Engineering Fees
- Infrastructure Financing
- Growth Management

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THE CORPORATION OF THE
TOWNSHIP OF BLANDFORD-BLENHEIM
BY-LAW NUMBER 2009-2017

Kamview Drain

A By-law to provide for drainage works in the Township of Blandford-Blenheim in the Restructured County of Oxford.

WHEREAS the Council of the Township of Blandford-Blenheim in the County of Oxford appointed Kenn Smart, P. Eng., of K. Smart Associates Limited, of Kitchener, Ontario, and the Section 4, 8 and 76 report is attached hereto and forms part of this By-law.

AND WHEREAS the estimated total cost of this report consisting of the engineering, construction costs and administration is \$22,590.00.

THEREFORE the Council of The Corporation of the Township of Blandford-Blenheim pursuant to the Drainage Act, R.S.O. 1990, and amendments thereto, enacts as follows:

1. The report dated February 13, 2017 and attached hereto, is hereby adopted and the Drainage Works as therein indicated and set forth is hereby authorized, and shall be completed in accordance therewith.
2. The Corporation may borrow on the credit of the Corporation the amount of **\$15,363.00**, being the necessary amount for construction of the Drainage Works.
3. The Corporation may arrange for the issue of debentures on its behalf for the amount borrowed, less the total amount of,
 - (a) grants received under Section 85 of the Act;
 - (b) commuted payments made in respect of lands and roads assessed within the municipality;
 - (c) moneys paid under subsection 61(3) of the Act; and

such debentures shall be made payable within Five (5) years from the date of the debenture and shall bear interest at a rate to be established at the date of the sale of such debentures.

The County of Oxford shall handle the sale of such debentures, with interest at the prevailing rates at the time of debenture sale. The Municipality of the Township of Blandford-Blenheim shall make annual payments without coupons payable to the County of Oxford.

4. A special equal annual rate sufficient to redeem the principal and interest on the debentures shall be levied upon the lands and roads as set forth in the Schedule to be collected in the same manner and at the same time as other taxes are collected in each year for Five (5) years, the year following the due date of the final invoice that calculates the actual costs of the Drainage Works in accordance with the Schedule contained in this By-law.

5. This by-law comes into force on the passing thereof and may be cited as **Kamview Drain.**

Read a First and Second Time this 15th Day of March, 2017.

Rodger Mordue, CAO/Clerk

Marion Wearn, Mayor

Read a Third Time and Finally Passed this _____ of _____, 2017

Rodger Mordue, CAO/Clerk

Marion Wearn, Mayor

THE CORPORATION OF THE
TOWNSHIP OF BLANDFORD-BLENHEIM

BY-LAW NUMBER **2010-2017**

Being a by-law to adopt the estimates of all sums
required for 2017 for Township purposes.

WHEREAS Section 290 of the Municipal Act S.O. 2001, and amendments thereto, provides that a local municipality shall in each year prepare and adopt a budget including estimates of all sums required during the year for the purposes of the municipality including (a) amounts sufficient to pay all debts of the municipality falling due within the year; (b) amounts required to be raised for sinking funds or retirement funds; and (c) amounts required for any board, commission or other body;

AND WHEREAS the Council of the Corporation of the Township of Blandford-Blenheim has prepared such an estimate of all sums required during the year of 2017;

NOW THEREFORE the Council of the Corporation of the Township of Blandford-Blenheim enacts as follows:

1. The estimate of all sums required for Township purposes for the Corporation of the Township of Blandford-Blenheim for the year 2017 is hereby adopted.
2. The estimate of all sums required for Township purposes, including estimates for all taxation purposes, for the Corporation of the Township of Blandford-Blenheim for the year 2017, also called the 2017 Budget, is attached hereto as Schedule "A" and forms part of this By-law.
3. This By-law shall come into force and take effect upon being passed by Council.

By-law **READ** a **FIRST** and **SECOND** time this 15th day of March 2017.

By-Law **READ** a **THIRD** time and **ENACTED** in Open Council this 15th day of March, 2017.

Marion Wearn, Mayor

Rodger Mordue, CAO/Clerk

Schedule "A"

By-law Number 2010 – 2017

Local Estimates for Tax Purposes

Purpose	Amount
General Government	(784,171)
Protective Services	749,046
External Agencies / Boards	898,711
Building / Drainage Services	74,082
Public Works	2,995,192
Community Services	733,004
Total	4,665,864

THE CORPORATION OF THE
TOWNSHIP OF BLANDFORD-BLENHEIM
BY-LAW NUMBER 2011-2017

Being a By-law to confirm the proceedings of Council.

WHEREAS by Section 5 of the *Municipal Act* 2001, S.O. 2001, c.25, the powers of a municipal corporation are to be exercised by its Council.

AND WHEREAS by Section 11 of the *Municipal Act* 2001, S.O. 2001, c.25, the powers of every Council are to be exercised by by-law;

AND WHEREAS it is deemed expedient that the proceedings of the Council of the Corporation of the Township of Blandford-Blenheim at this meeting be confirmed and adopted by by-law;

NOW THEREFORE the Council of the Corporation of the Township of Blandford-Blenheim hereby enacts as follows:

1. That the actions of the Council of the Corporation of the Township of Blandford-Blenheim in respect of each recommendation contained in the reports of the Committees and each motion and resolution passed and other action taken by the Council of the Corporation of the Township of Blandford-Blenheim, at this meeting held on March 15, 2017 is hereby adopted and confirmed as if all such proceedings were expressly embodied in this by-law.
2. That the Mayor and proper officials of the Corporation of the Township of Blandford-Blenheim are hereby authorized and directed to do all things necessary to give effect to the actions of the Council referred to in the proceeding section hereof.
3. That the Mayor and the CAO / Clerk be authorized and directed to execute all documents in that behalf and to affix thereto the seal of the Corporation of the Township of Blandford-Blenheim.

By-law read a first and second time this 15th day of March, 2017.

By-law read a third time and finally passed this 15th day of March, 2017.

MAYOR
MARION WEARN

CAO / CLERK
RODGER MORDUE